

# SHERBORN VILLAGE

## IN

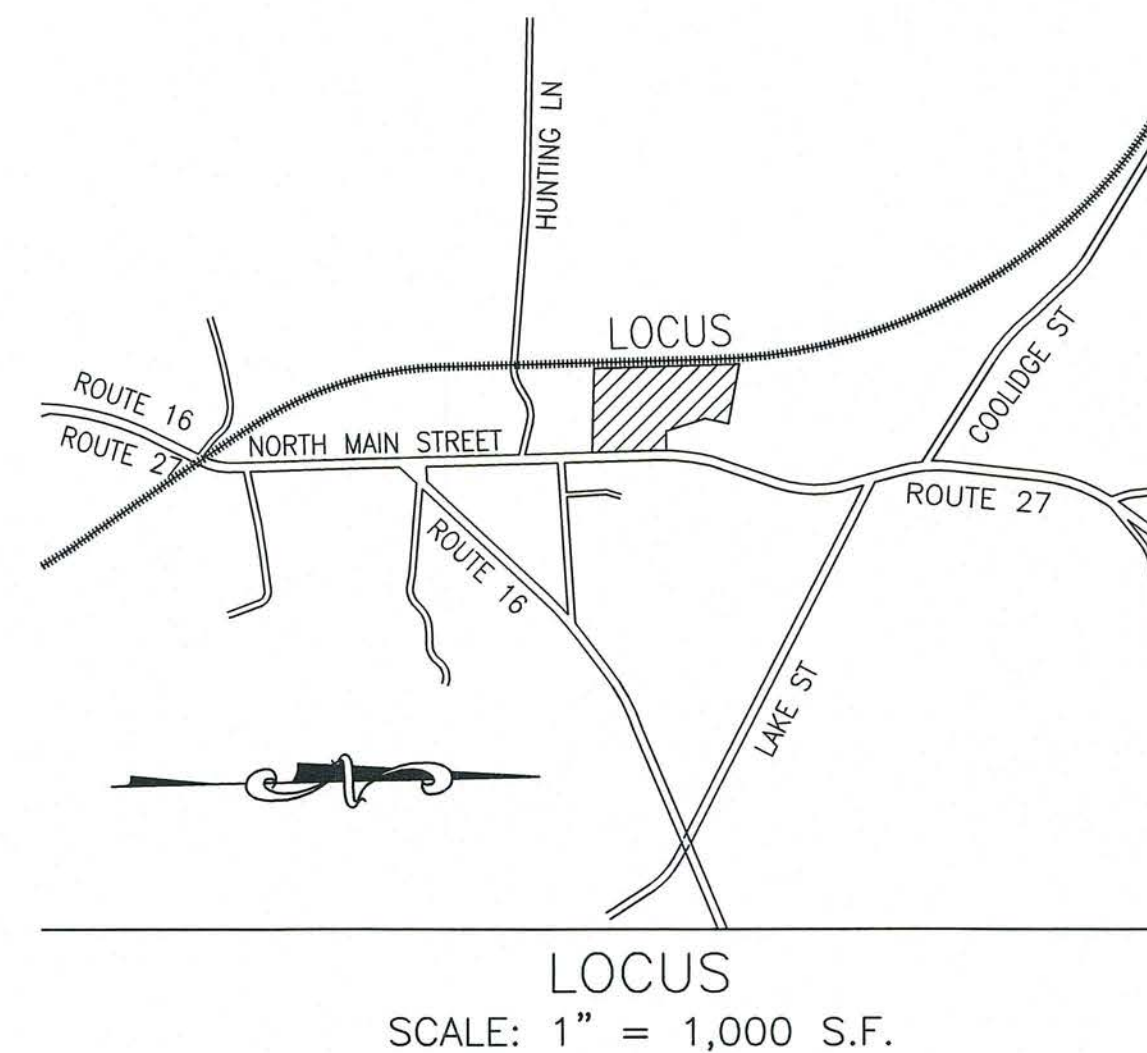
# SHERBORN, MASSACHUSETTS

### (MIDDLESEX COUNTY)

HERITAGE PROPERTIES  
490-B BOSTON POST ROAD  
SUDBURY, MA 01776

**OWNER/APPLICANT:**  
HERITAGE PROPERTIES  
490-B BOSTON POST ROAD  
SUDBURY, MA 01776

**ENGINEER:**  
ENGINEERING DESIGN  
CONSULTANTS, INC.  
32 TURNPIKE ROAD  
SOUTHBOROUGH, MASSACHUSETTS



SHEET INDEX	
SHEET	TITLE
1	COVER
2	EXISTING CONDITIONS
3	LAYOUT & MATERIALS
4	GRADING & UTILITIES
5	PROFILE
6	LIGHTING
7	DETAILS
L1	LANDSCAPE PLAN
L2	LANDSCAPE DETAILS

#### LEGEND

BIT CONC	BITUMINOUS CONCRETE
CB	CATCH BASIN
CC	CONCRETE CURB
CCB	CAPE COD BERM
CO	CLEAN OUT
CONC	CONCRETE
CS	CURB STOP
D	DRAINLINE
DCB	DOUBLE CATCH BASIN
DI	DUCTILE IRON
DMH	DRAIN MANHOLE
ELEC	ELECTRIC
EMH	ELECTRIC MANHOLE
ETC	ELECTRIC, TELEPHONE, CABLE
FD	FOUNDATION DRAIN
FE	FLARED END
GAS	GAS LINE
GG	GAS GATE
GV	GATE VALVE
HC	HANDICAPPED RAMP
HYD	HYDRANT
INV	INVERT
LP	LIGHT POLE
MH	MANHOLE
PIV	POST INDICATOR VALVE
PPVC	PERFORATED POLY-VINYL-CHLORIDE
PVC	POLY-VINYL-CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD OR RL	ROOF DRAIN OR ROOF LEADER
S	SEWER LINE
SB/DH	STONE BOUND/DRILLHOLE
SOC	SLOPED GRANITE CURB
SMH	SEWER MANHOLE
TD	TRENCH DRAIN
TELE	TELEPHONE LINE
TMH	TELEPHONE MANHOLE
TRANS	TRANSFORMER
TS	TRANSITION STONE
UD	UNDERDRAIN
VGC	VERTICAL GRANITE CURB
W	WATER LINE
WG	WATER GATE
W-S	SIGN
TP	BORING
WF	SOIL TEST PIT
ECB	PERCOLATION TEST
T24	WETLAND FLAG
(TBS)	EROSION CONTROL BARRIER
	24" TREE
	STONE BOUND/DRILL HOLE TO BE SET
	WATER SHUTOFF

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ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

DRAWN BY: WML  
CHECKED BY: PSB  
APPROVED BY: PSB

REVISIONS:  
0 11/27/17 ISSUED FOR PEER REVIEW  
1 7/25/17 ISSUED FOR PEER REVIEW



PREPARED BY: EDC  
Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
(508) 480-0225

PROJECT: SHERBORN VILLAGE  
A  
RESIDENTIAL DEVELOPMENT  
IN  
SHERBORN, MASSACHUSETTS

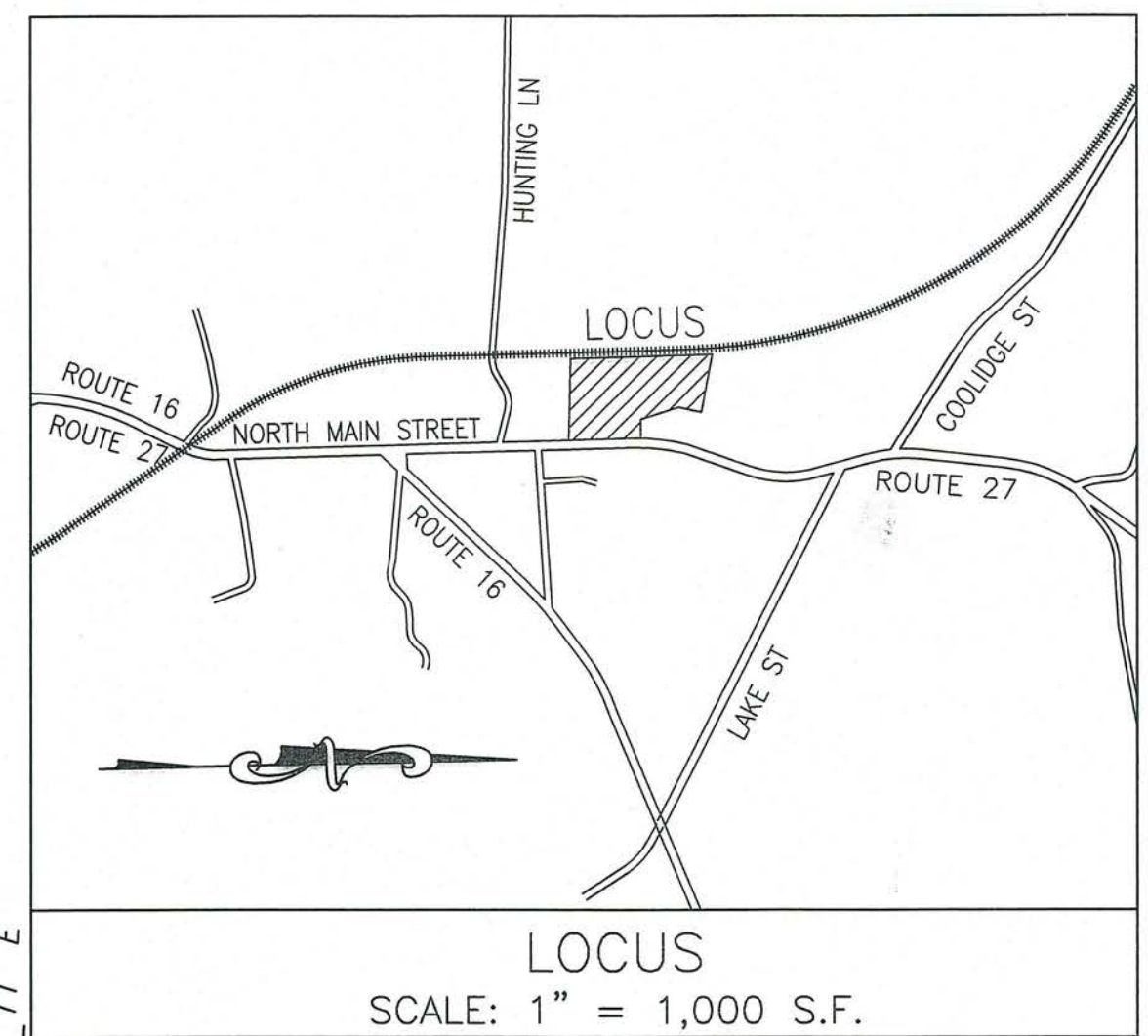
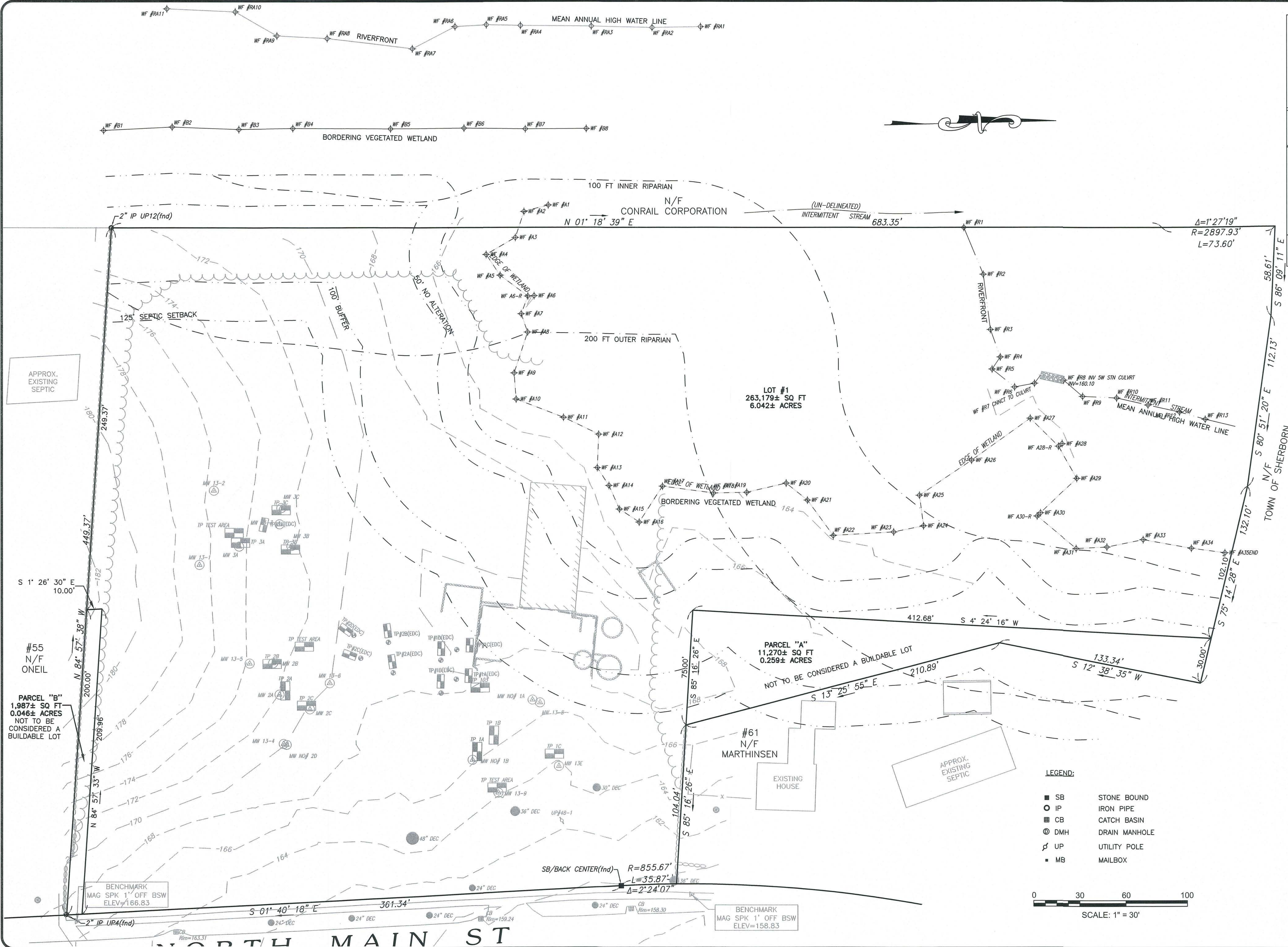
TITLE: COVER  
#59 NORTH MAIN STREET  
SHERBORN, MASSACHUSETTS  
OWNER/APPLICANT: HERITAGE PROPERTIES  
490-B BOSTON POST ROAD  
SUDBURY, MA 01776

FILE NO: 3438  
COVER  
DATE: JULY 25, 2017  
PLAN NO: 1 of 7  
1



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NOTE:  
UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811



**NOTES:**

CURRENT OWNER OF RECORD:

JULIANI LABADINI PROPERTIES, LLC  
ONE HOLLIS STREET - SUITE 207  
WELLESLEY, MA 02482

DEED REFERENCE: BOOK 62749 PAGE 279

WETLAND AND RESOURCE AREAS DELINEATED BY ECOTEC, INC ON 11/18/14. AN ORDER OF RESOURCE AREA DELINEATION WAS ISSUED BY THE SHERBORN CONSERVATION COMMISSION (DEP #283-0361) ON DECEMBER 23, 2014.

FIRM MAP NO: 25017C00538F INDICATES THE ENTIRE SITE IS OUTSIDE THE 100 & 500 YEAR FLOOD PLAINS.

**ASSESSORS REFERENCE:**

MAP: 10 LOT: 25

CURRENT ZONING INFORMATION  
ZONING DISTRICT = RA

DIMENSIONAL REQUIREMENTS	REQUIRED
AREA	43,560 S.F.
FRONTAGE	150.0 FT.
WIDTH	150.0 FT.
BUILDING SETBACK:	
FRONT	60 FT.
SIDE	30 FT.
REAR	30 FT.
HEIGHT	35' MAX., 2.5 STORY

PROPOSED ZONING INFORMATION  
ZONING DISTRICT = EA

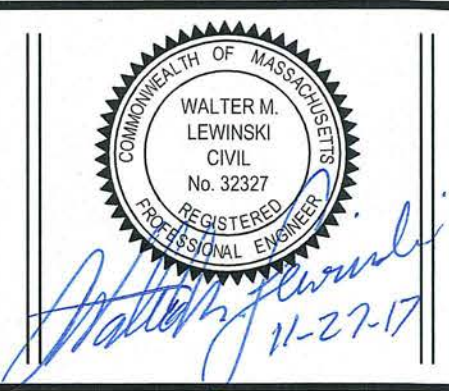
DIMENSIONAL REQUIREMENTS	REQUIRED	PROPOSED
AREA	43,560 S.F.	263,179 S.F.
FRONTAGE	150.0 FT.	361.3 FT.(EXIST.)
BUILDING SETBACK:		
FRONT	100 FT.	45.3 FT. WAIVER NEEDED
SIDE	60 FT.	17.7 FT. WAIVER NEEDED
REAR	60 FT.	64.0 FT.
HEIGHT	35' MAX., 2.5 STORY	(NOT EXCEEDED)

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REVISIONS	DATE	DESCRIPTION
1	11/27/17	ISSUED FOR PEER REVIEW
2	7/25/17	ISSUED FOR PEER REVIEW

DRWN BY: VML  
CHK'D BY: PSB  
APP'D BY: PSB



PREPARED BY:  
**EDC** Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
(508) 480-0225

SHERBORN VILLAGE  
A  
RESIDENTIAL DEVELOPMENT  
IN  
SHERBORN, MASSACHUSETTS

TITLE:  
**EXISTING CONDITIONS  
#59 NORTH MAIN STREET  
SHERBORN, MASSACHUSETTS**

OWNER/APPLICANT:  
HERITAGE PROPERTIES  
490-B BOSTON POST ROAD  
SUDBURY, MA 01776

FILE NO: 3438  
EXISTING CONDITIONS  
DATE: JULY 25, 2017  
PLAN NO: 2 of 7  
**2**



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CALL DIGSAFE AT 811



#### AREAS WITHIN BUFFERS

100'-50' BUFFER	
TOTAL BUFFER ONSITE	38,397 S.F.
PROPOSED BUILDING	5,988 S.F.
PROPOSED LAWN	10,649 S.F.
EXISTING BUILDING	1,563 S.F.
EXISTING DISTURBED	702 S.F.
PROPOSED DISTURBED	1,246 S.F.
AREA TO BE NATURALIZED	2,062 S.F.
50'-0' BUFFER	
TOTAL BUFFER ONSITE	38,704 S.F.
PROPOSED BUILDING	326 S.F.
PROPOSED LAWN	3,490 S.F.
EXISTING BUILDING	1,353 S.F.
EXISTING DISTURBED	1,686 S.F.
PROPOSED DISTURBED	657 S.F.
AREA TO BE NATURALIZED	2,626 S.F.
100 FT RIVERFRONT	55,674 S.F.
200 FT RIVERFRONT	124,040 S.F.
AREA DISTURBED WITHIN 100 FT RIVERFRONT	0 S.F.
AREA DISTURBED WITHIN 200 FT RIVERFRONT	3,550 S.F. PERMANENT

#### NOTES:

CURRENT OWNER OF RECORD

HERITAGE PROPERTIES  
490-B BOSTON POST ROAD  
SUITE 202  
SUDBURY, MA 01776

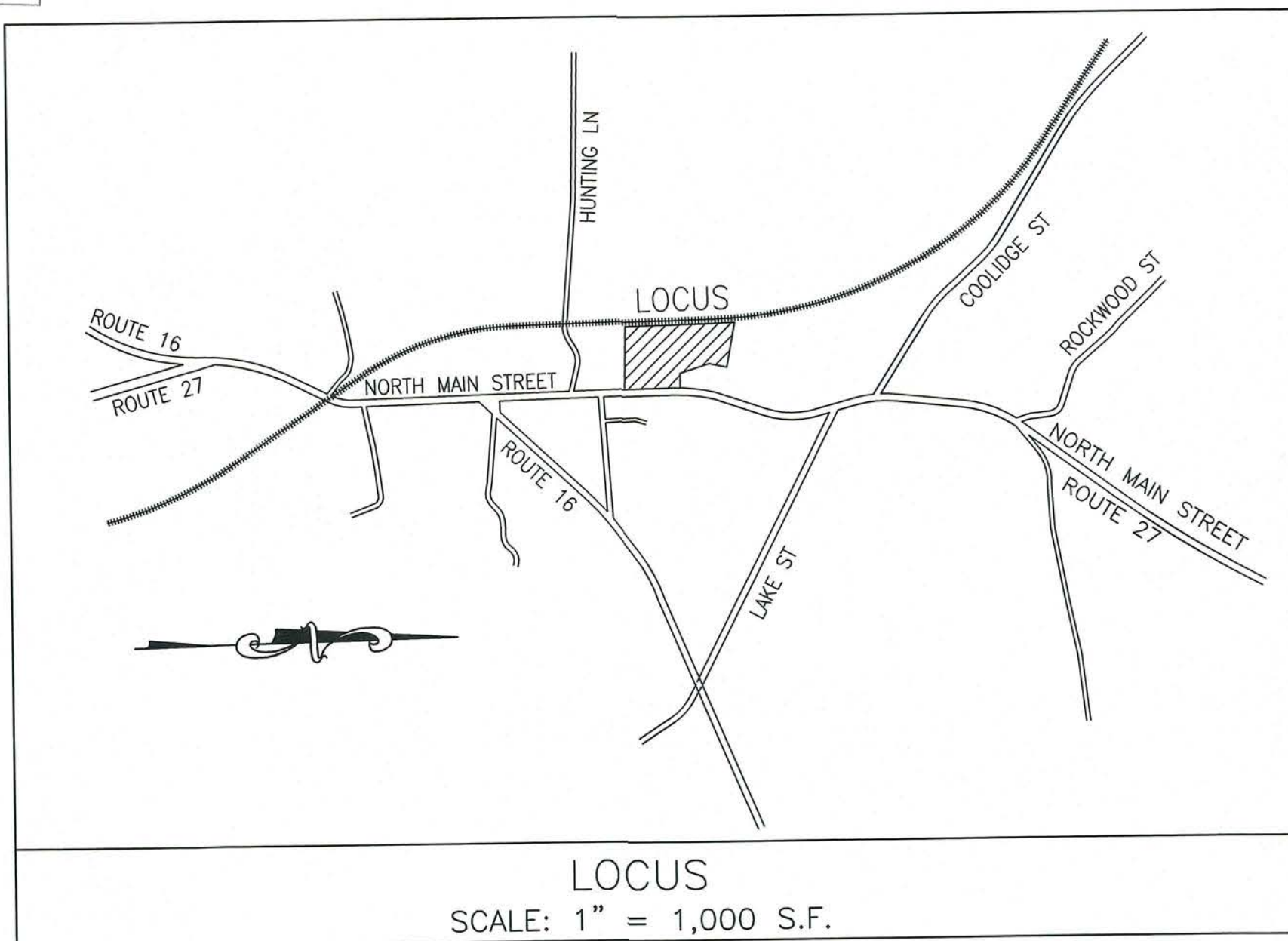
DEED REFERENCE: BOOK 65811 PAGE 274

#### ASSESSORS REFERENCE:

MAP: 10 LOT: 25

CURRENT ZONING INFORMATION  
ZONING DISTRICT = RA

DIMENSIONAL REQUIREMENTS	REQUIRED	PROPOSED
AREA	43,560 S.F.	263,179 S.F.
FRONTAGE	150.0 FT.	150.0 FT.
WIDTH		
BUILDING SETBACK:		
FRONT	60 FT.	45.3 FT
SIDE	30 FT.	17.7 FT
REAR	30 FT.	64.0 FT
HEIGHT	35' MAX., 2.5 STORY	<35' 2.5 STORY



LOCUS  
SCALE: 1" = 1,000 S.F.

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CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE  
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ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR  
THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS  
THIRD PARTY COSTS.

DESIGNED BY: WML  
CHECKED BY: PSB  
APPROVED BY: PSB

REVISIONS:  
REV # DATE DESCRIPTION  
0 11/27/17 ISSUED FOR PEER REVIEW  
1 7/25/17 ISSUED FOR PEER REVIEW



Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
(508) 480-0225

PROJECT:

SHERBORN VILLAGE  
A  
RESIDENTIAL DEVELOPMENT  
IN  
SHERBORN, MASSACHUSETTS

TITLE:

LAYOUT & MATERIALS  
#59 NORTH MAIN STREET  
SHERBORN, MASSACHUSETTS

OWNER/APPLICANT:

HERITAGE PROPERTIES  
490-B BOSTON POST ROAD  
SUDBURY, MA 01776

FILE NO: 3438

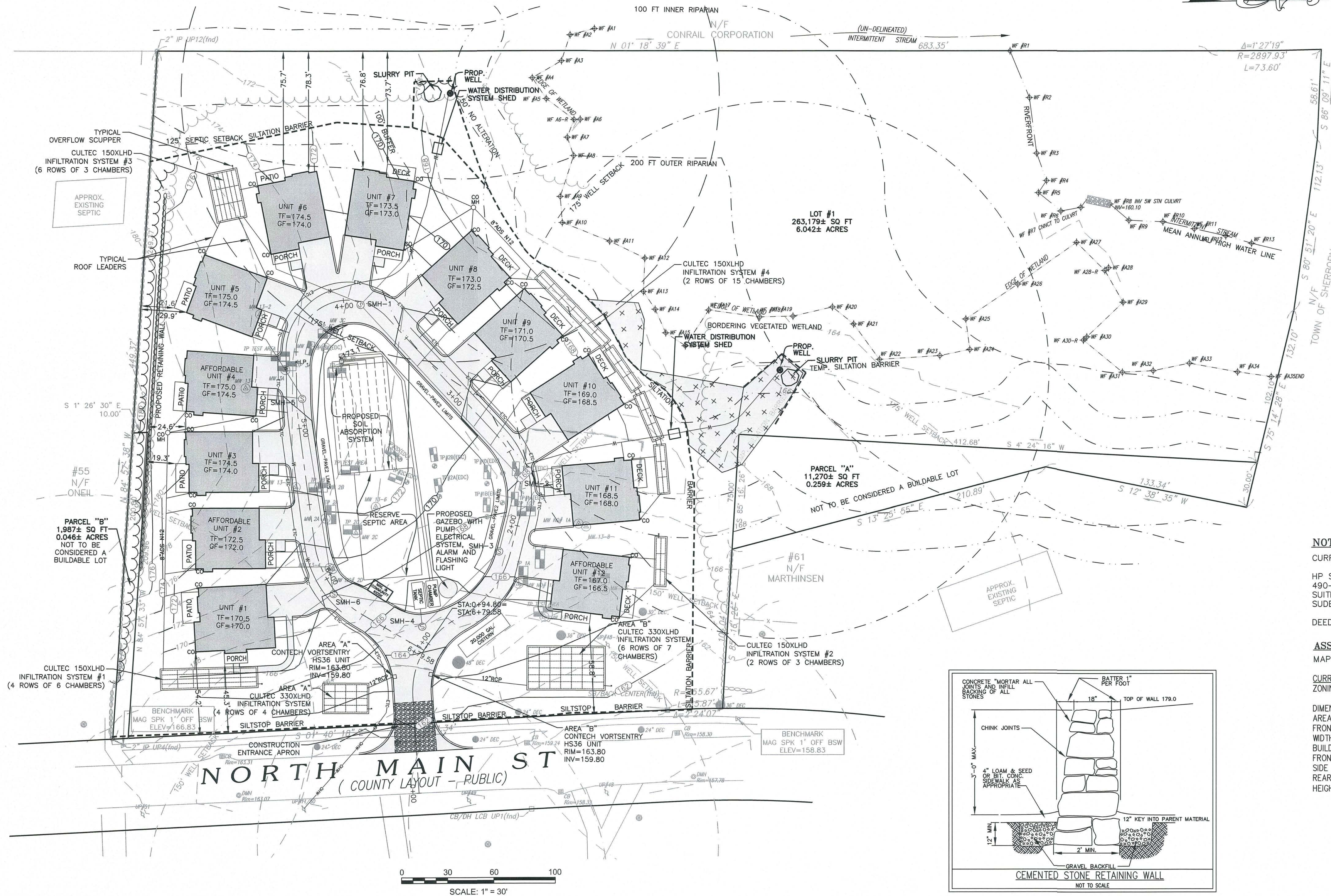
LAYOUT & MATERIALS

DATE: JULY 25, 2017

PLAN NO: 3 of 7

3





NOTE:  
UNDERGROUND UTILITY LOCATIONS ARE  
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CALL DIGSAFE AT 811



- CONSTRUCTION NOTES**
1. DWELLING INFILTRATION SHALL BE CULTEC RECHARGER C150XLHD, ELEVATIONS AS SHOWN ON THE DETAILS. THEY SHALL BE INTERCONNECTED WITH THE CULTEC HVLV FC-24 FEED CONNECTOR AND 8-INCH DIAMETER ADS N-12 PIPE. ROOF LEADERS SHALL BE 4-INCH ADS.
  2. DRIVEWAY INFILTRATION SHALL BE CULTEC RECHARGER C330XLHD, ELEVATIONS AS SHOWN ON THE DETAILS.
  3. SEWER PIPE SHALL BE 6" SCH-40 PVC, PRIME AND THOROUGHLY GLUE ALL PIPE FITTINGS.
  4. MINIMUM SLOPE OF SEWER CONNECTIONS FROM UNITS S=0.010.
  5. UNITS SHALL HAVE SEWER BACKFLOW PREVENTERS.
  6. WATER MAIN LINE SHALL BE 2" PVC
  7. WATER SERVICES SHALL BE 1/2 TYPE K COPPER.
  8. SEE CONSTRUCTION NOTES AND DETAILS ON SHEET 6
  9. AREA "A" & "B" SHALL BE VORTSENTRY HS36 UNITS.
  10. SEWER PIPE CROSSING WATER LINE OR DRAIN LINE SHALL BE ENCASED IN CONCRETE WITH A MINIMUM OF 6-INCHES OF CONCRETE ALL AROUND AND 5-FOOT TO EITHER SIDE OF THE UTILITY CROSSING.

**NOTES:**

CURRENT OWNER OF RECORD

HP SHERBORN LLC  
490-B BOSTON POST ROAD  
SUITE 202  
SUDBURY, MA 01776

DEED REFERENCE: BOOK 65811 PAGE 274

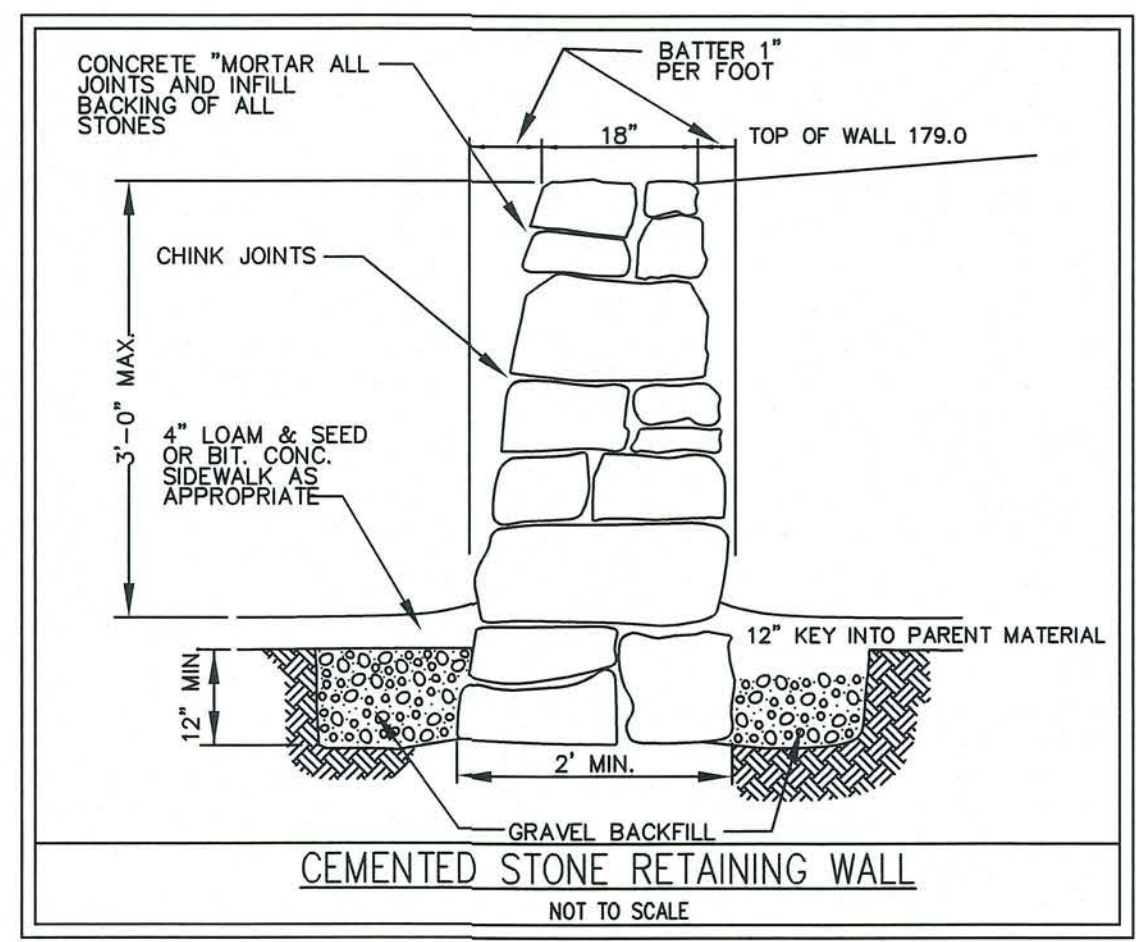
**ASSESSORS REFERENCE:**

MAP: 10 LOT: 25

**CURRENT ZONING INFORMATION**

ZONING DISTRICT = RA

DIMENSIONAL REQUIREMENTS	REQUIRED	PROPOSED
AREA	43,560 S.F.	263,179 S.F.
FRONTAGE	150.0 FT.	
WIDTH	150.0 FT.	
BUILDING SETBACK:		
FRONT	60 FT.	45.3 FT
SIDE	30 FT.	19.3 FT
REAR	30 FT.	73.7 FT
HEIGHT	35' MAX.,	<35'
	2.5 STORY	2.5 STORY



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2	7/25/17	ISSUED FOR PEER REVIEW
3		
4		
5		
6		
7		
8		
9		
10		



ENGINEERING DESIGN CONSULTANTS, INC.  
32 Tumpike Road  
Southborough, Massachusetts  
(508) 480-0225

SHERBORN VILLAGE  
A  
RESIDENTIAL DEVELOPMENT  
IN  
SHERBORN, MASSACHUSETTS

GRADING & UTILITIES  
#59 NORTH MAIN STREET  
SHERBORN, MASSACHUSETTS

HERITAGE PROPERTIES  
490-B BOSTON POST ROAD  
SUDBURY, MA 01776

FILE NO: 3438  
GRADING & UTILITIES  
DATE: JULY 25, 2017  
PLAN NO: 4 OF 7



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DRWN BY:	WM
CHK'D BY:	PS
APPROV BY:	PS



FD

SHERBORN VILLAGE  
A  
RESIDENTIAL DEVELOPMENT  
IN  
SHERBORN, MASSACHUSETTS

OWNER/APPLICANT:


HERITAGE PROPERTIES  
490-B BOSTON POST ROAD  
SUDBURY, MA 01776

PLAN NO.:

NO.: 5 OF 7





Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	8	ANP LIGHTING	LA772 1 FR 46W N T3 35K FINISH	30" X 14" DIA. LED TRADITIONAL LUMINAIRE 3500K LEDS WITH TYPE III OPTICS AND FROSTED LENS	1	L02133101.IES	2977	1	46



This Series of Fixtures have Classic, Old World Charm with a Modern Interpretation. The Dome Shaped Crown has Tool-less Entry Into its Hinged and Gaskeeted Hood for Easy Driver/Ballast Access. It is Constructed of Heavy Duty Cast Aluminum with Stainless Steel Hardware. The Three Strut Open Center lends itself to the Modern Feel of the Fixture. This is the Smallest in the Series of Three. This Series of Fixtures have Classic, Old World Charm with a Modern Interpretation. The Dome Shaped Crown has Tool-less Entry into its Hinged and Gaskeeted Hood for Easy Driver/Ballast Access. It is Constructed of Heavy Duty Cast Aluminum with Stainless Steel Hardware. The Three Strut Open Center lends itself to the Modern Feel of the Fixture. This Fixture is the Smallest in the Series of Three.

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DRWN BY:	WML
CHK'D BY:	PSB
APRVD BY:	PSB

REVISIONS:		
REV #	DATE	DESCRIPTION
0	11/27/17	ISSUED FOR PEER REVIEW
	7/25/17	ISSUED FOR PEER REVIEW



PREPARED BY:

EF

Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
(508) 480-0225

SHERBORN VILLAGE  
A  
RESIDENTIAL DEVELOPMENT  
IN  
SHERBORN, MASSACHUSETTS

|| TITLE:

LIGHTING  
#59 NORTH MAIN STREET  
SHERBORN, MASSACHUSETTS

OWNER/APPLICANT

HERITAGE PROPERTIES  
490-B BOSTON POST ROAD  
SUDBURY, MA 01776

FILE NO.: 3438  
LIGHTING & LANDSCAPE

DATE: \_\_\_\_\_

JULY 25, 2017

PLAN NO.:

6 &amp; 7



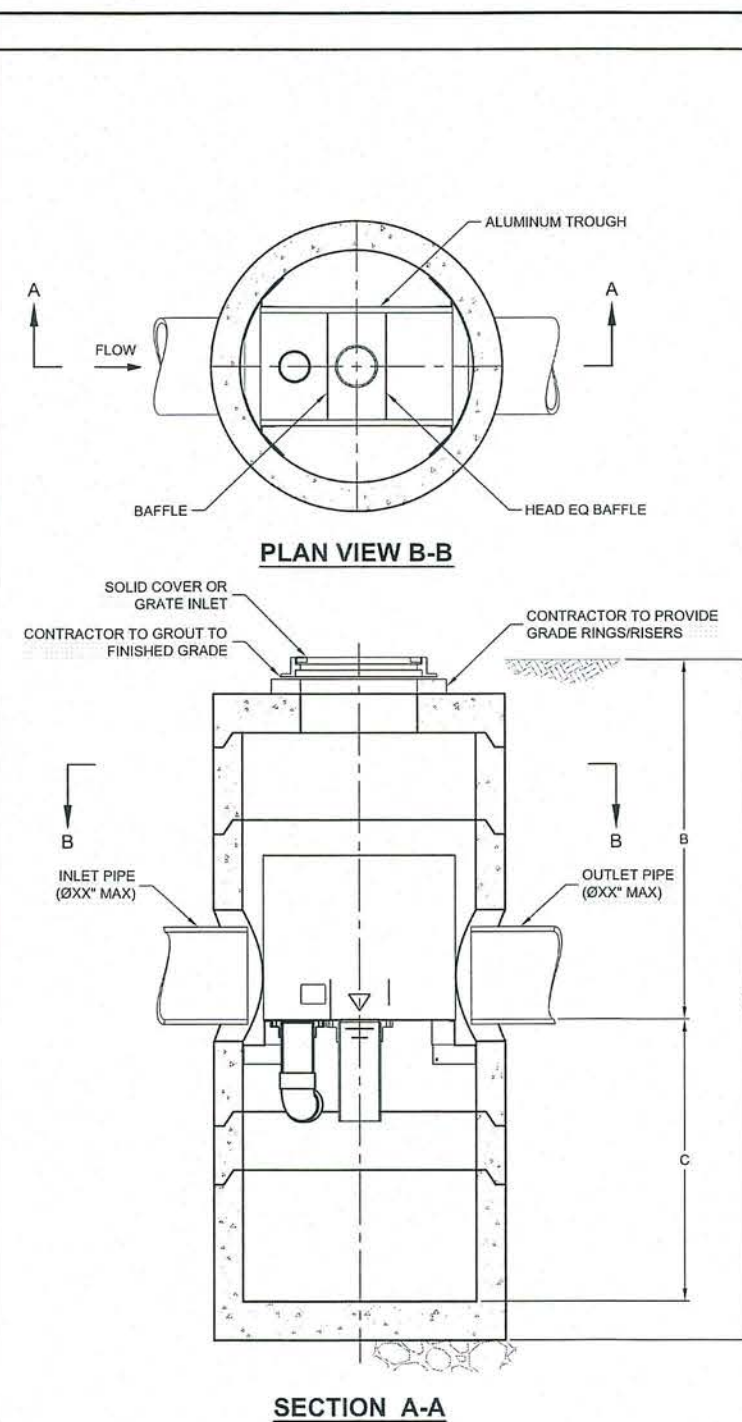
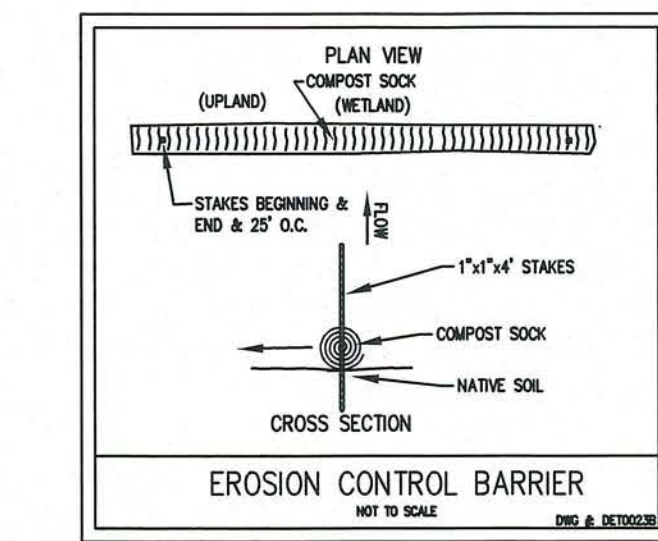
16



1. THE SITE CONTRACTOR SHALL POST "DEEP" SIGN AND REVIEW THE CONDITIONS DESCRIBED IN THE "ORDER OF CONDITIONS" ISSUED FOR THIS PROJECT.
2. EROSION CONTROL MEASURES (SEE DETAILS) SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AS INDICATED.
3. MEASURES SHALL BE TAKEN TO LIMIT THE TRACKING OF MATERIAL FROM THE SITE ONTO NORTH MAIN STREET.
4. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED MEASURES AS NECESSARY.
5. CATCH BASIN AND FLARED END STRUCTURES SHALL BE RINGED WITH STAKED HAYBALES UNTIL THE ADJACENT SLOPES HAVE FULLY VEGETATED.
6. THROUGHOUT CONSTRUCTION, ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED AND MULCHED AS SOON AS PRACTICABLE IN ORDER TO AVOID OVERLAND TRANSPORT OF SEDIMENT.
7. EROSION CONTROL MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND PARTICULARLY AFTER SIGNIFICANT RAINFALL. DILAPIDATED HAYBALES AND SILT STOP SHALL BE REPLACED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE BARRIER.
8. WITH SLOPES STABILIZED AND FINAL CONSERVATION COMMISSION INSPECTION COMPLETE, THE EROSION CONTROL BARRIER SHALL BE REMOVED AND PROPERLY DISPOSED OFF-SITE.

### SEDIMENTATION & EROSION CONTROL METHODS & PROCEDURES

DWG. # DET0024

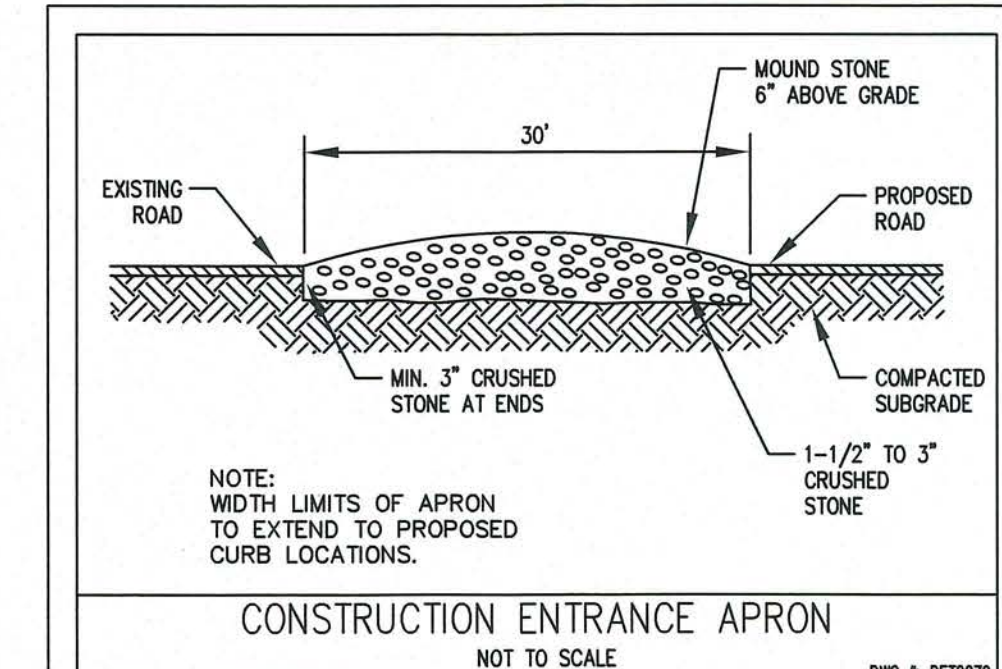


### VortSentry HS

DWG. # DET0024

VORTSENTRY HS DESIGN NOTES											
VSHS RATED TREATMENT CAPACITY IS SHOWN IN THE TABLE BELOW, OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY VARIES. CONTACT YOUR CONTRACT REPRESENTATIVE FOR ADDITIONAL INFORMATION.											
THE STANDARD SOLID COVER CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW.											
CONFIGURATION OPTION DESCRIPTION											
GRATE INLET (NO INLET PIPE)											
GRATE INLET WITH INLET PIPE											
VORTSENTRY HS GENERAL INFORMATION											
Model	Manhole Diameter (ID)	Total Treatment Flow Rate (GPM)	Typical Total Distance From Inlet to Outlet (ft)	Typical Total Distance From Inlet to Outlet (m)	Typical Total Distance From Inlet to Outlet (ft)	Typical Total Distance From Inlet to Outlet (m)	Approximate Maximum Pipe Diameter (ID) to Inlet	Approximate Maximum Pipe Diameter (ID) to Inlet	Approximate Maximum Pipe Diameter (ID) to Inlet	Approximate Maximum Pipe Diameter (ID) to Inlet	Approximate Maximum Pipe Diameter (ID) to Inlet
HS30	30"	900	10.0	3.05	10.0	3.05	10.0	3.05	10.0	3.05	10.0
HS36	36"	1200	13.0	4.0	13.0	4.0	13.0	4.0	13.0	4.0	13.0
HS42	42"	1500	16.0	4.9	16.0	4.9	16.0	4.9	16.0	4.9	16.0
HS48	48"	1800	19.0	5.8	19.0	5.8	19.0	5.8	19.0	5.8	19.0
HS54	54"	2100	22.0	6.7	22.0	6.7	22.0	6.7	22.0	6.7	22.0
HS60	60"	2400	25.0	7.6	25.0	7.6	25.0	7.6	25.0	7.6	25.0

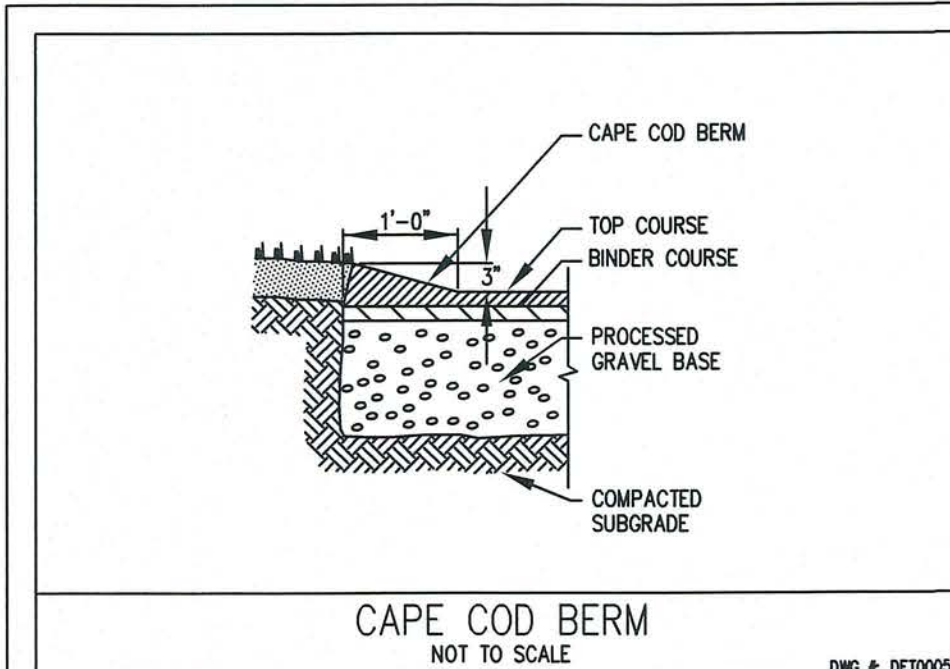
VORTSENTRY HS STANDARD DETAIL



### CONSTRUCTION ENTRANCE APRON

NOT TO SCALE

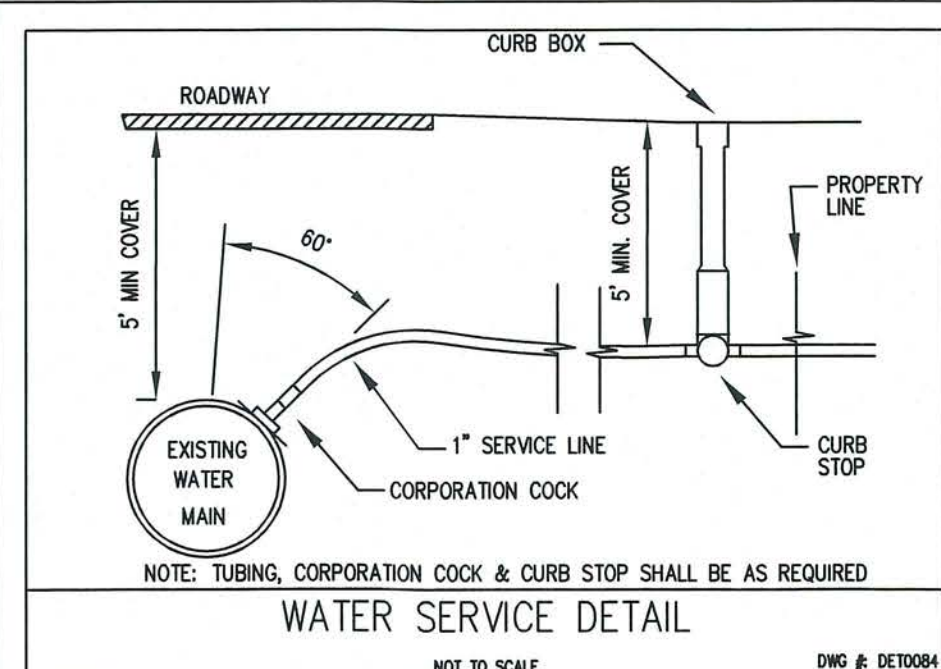
DWG. # DET0029



### CAPE COD BERM

NOT TO SCALE

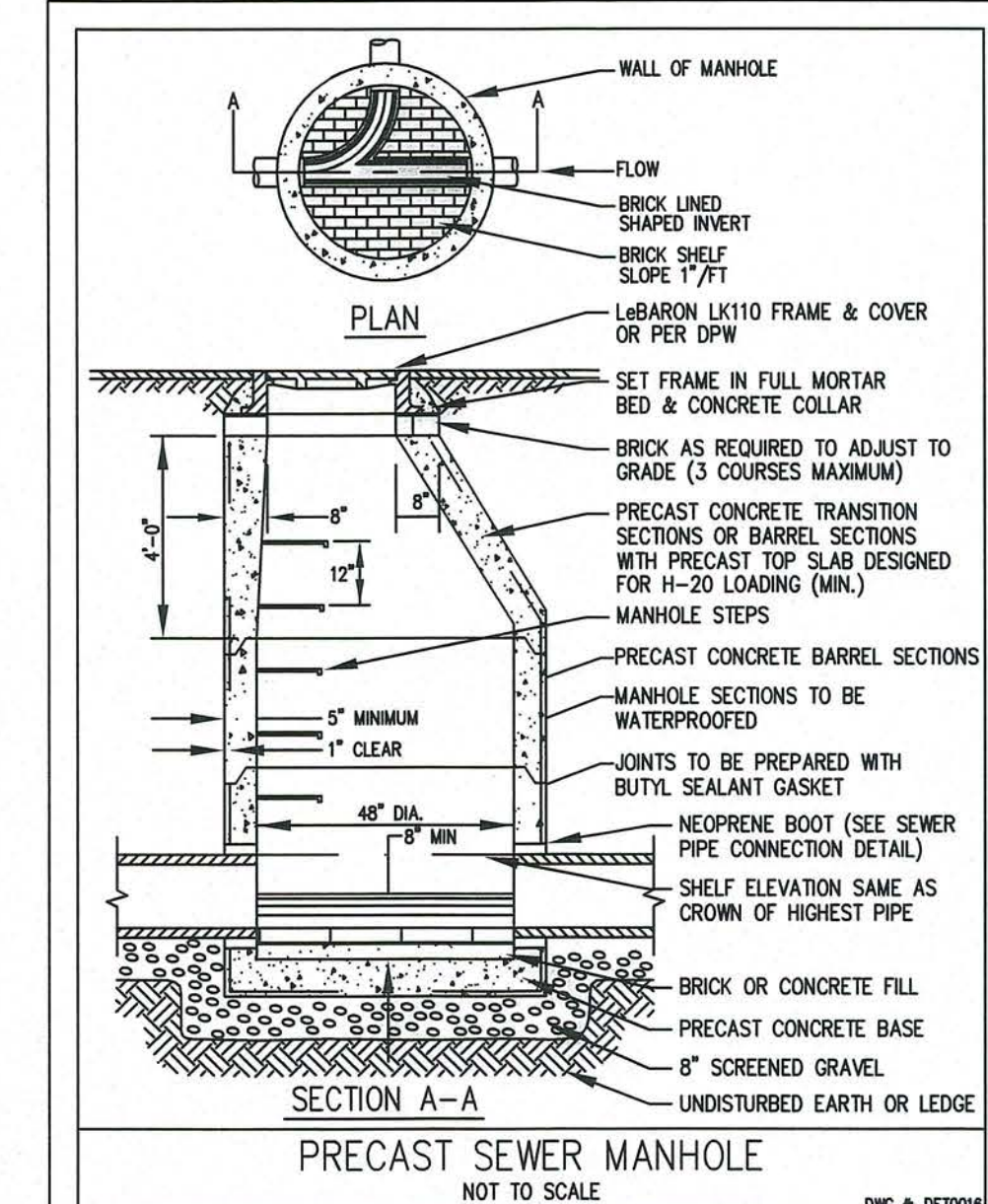
DWG. # DET0030



### WATER SERVICE DETAIL

NOT TO SCALE

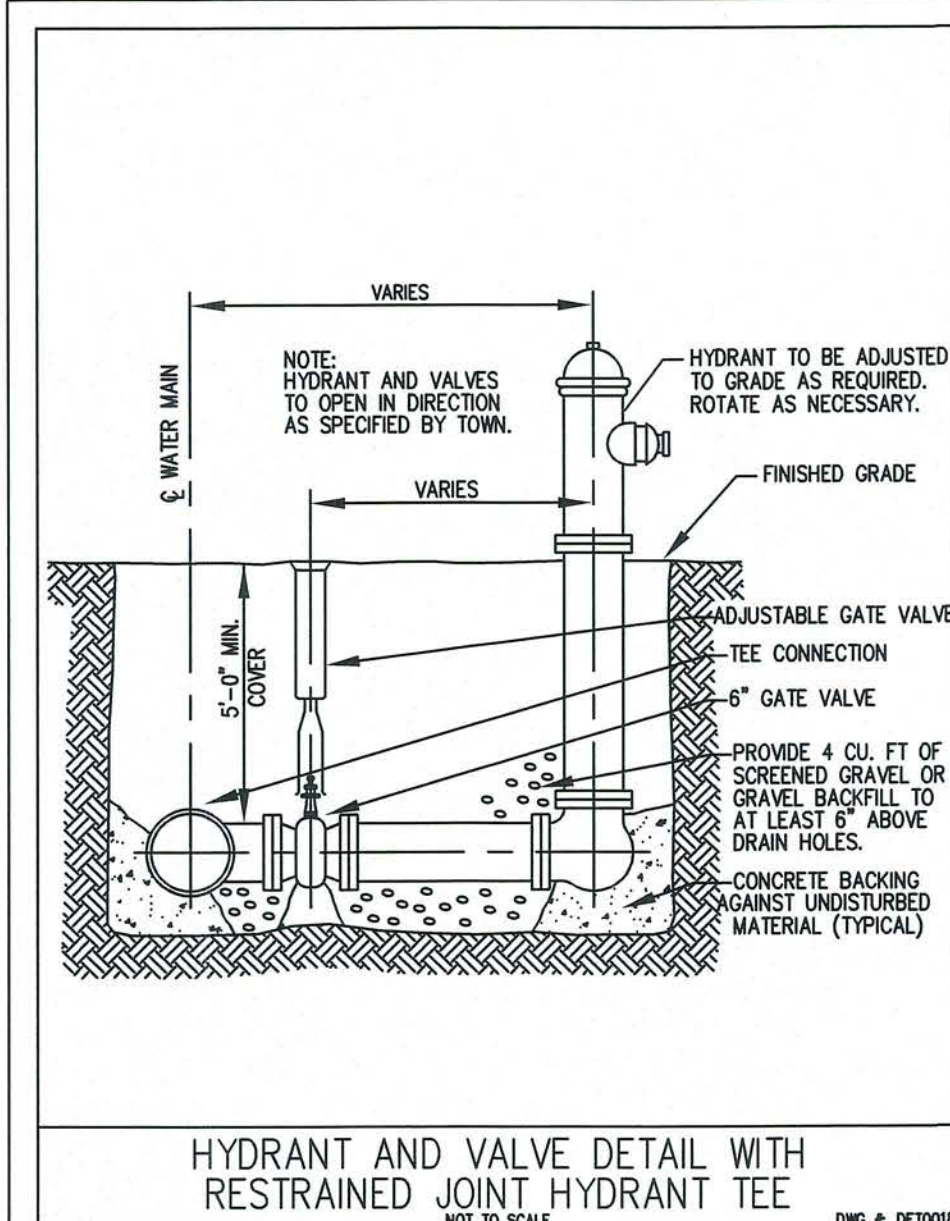
DWG. # DET0034



### PRECAST SEWER MANHOLE

NOT TO SCALE

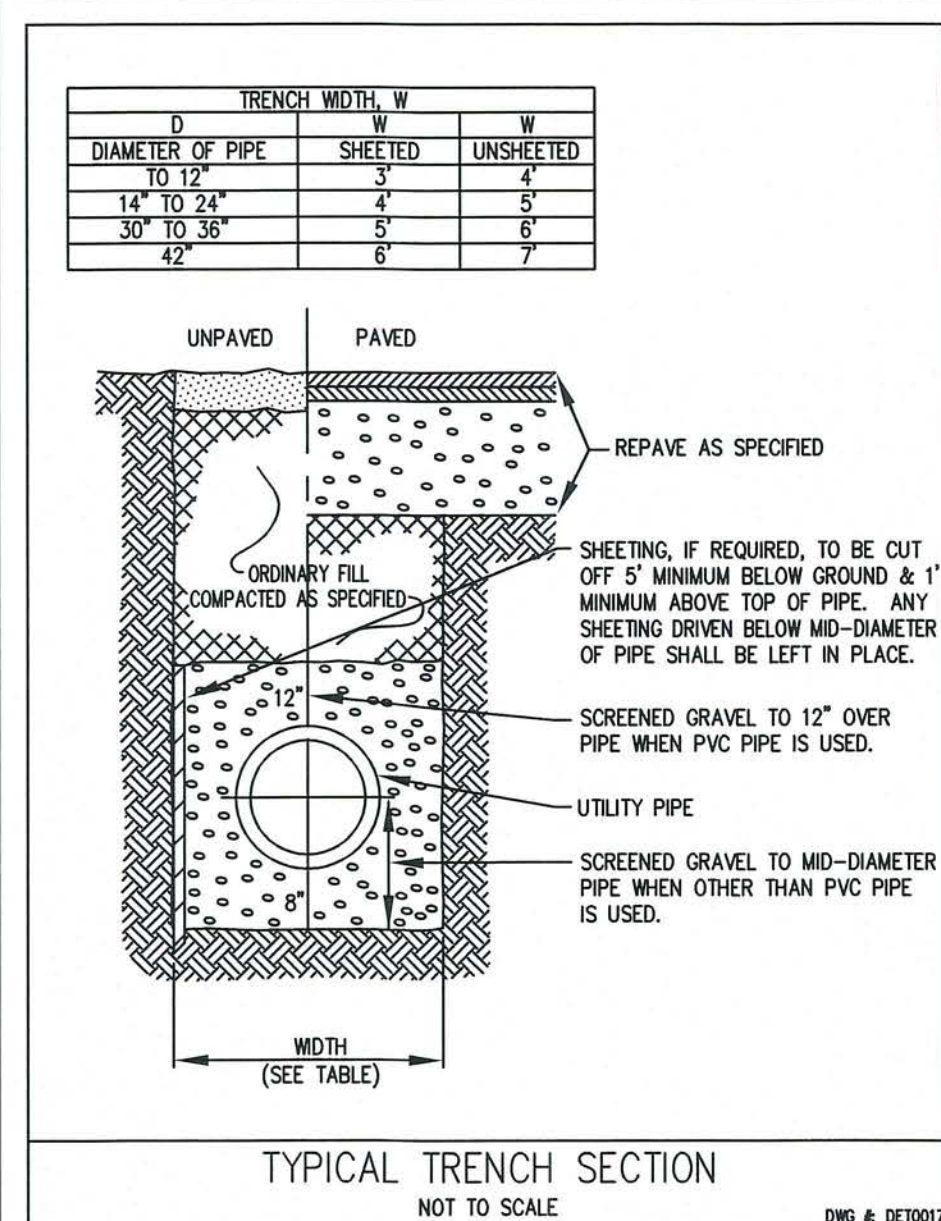
DWG. # DET0016



### HYDRANT AND VALVE DETAIL WITH RESTRAINED JOINT HYDRANT TEE

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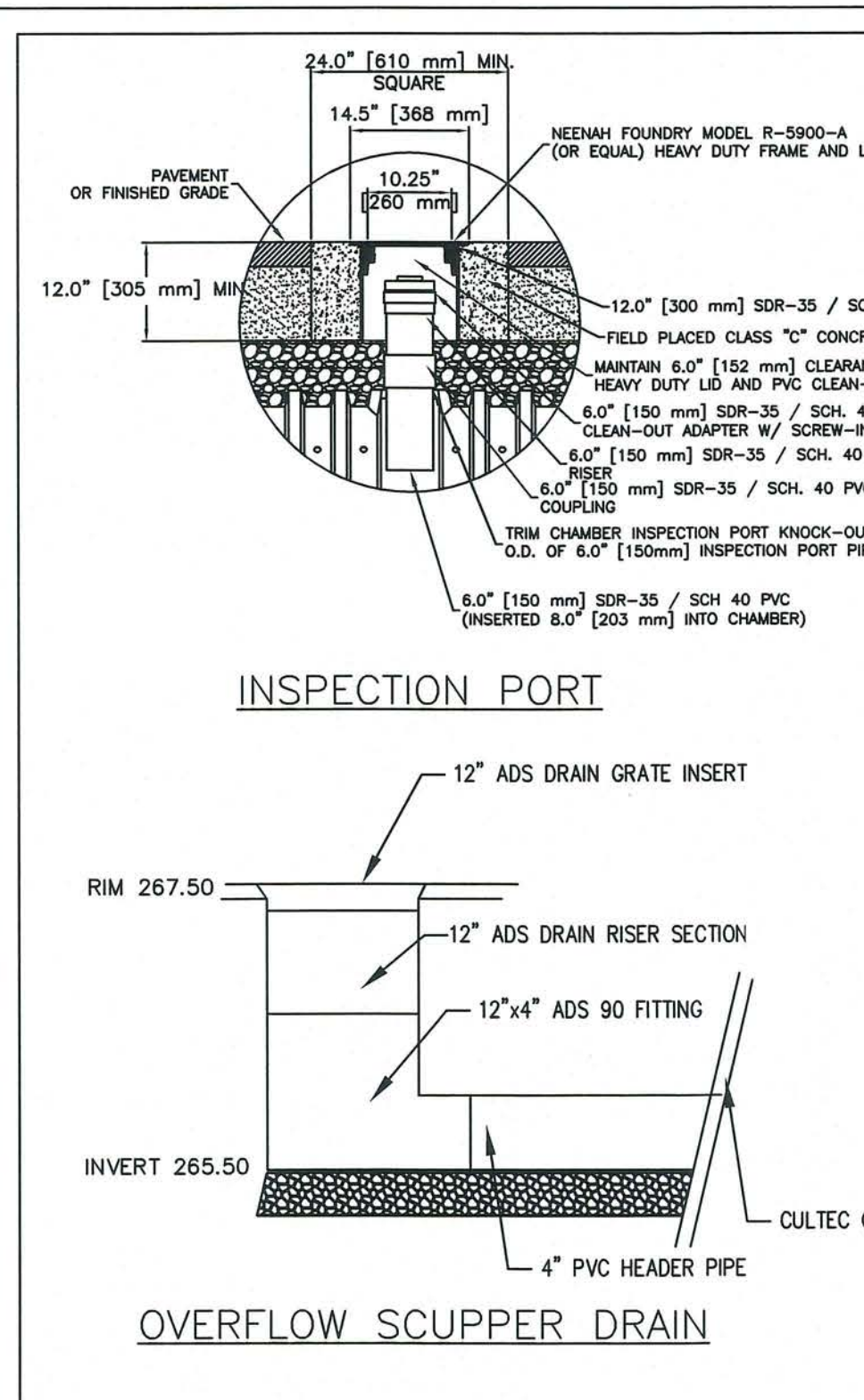
DWG. # DET0018



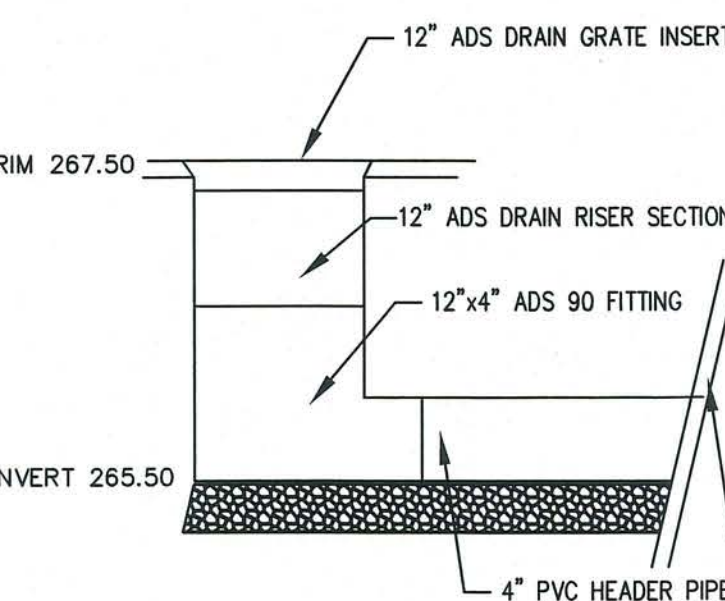
### TYPICAL TRENCH SECTION

NOT TO SCALE

DWG. # DET0017

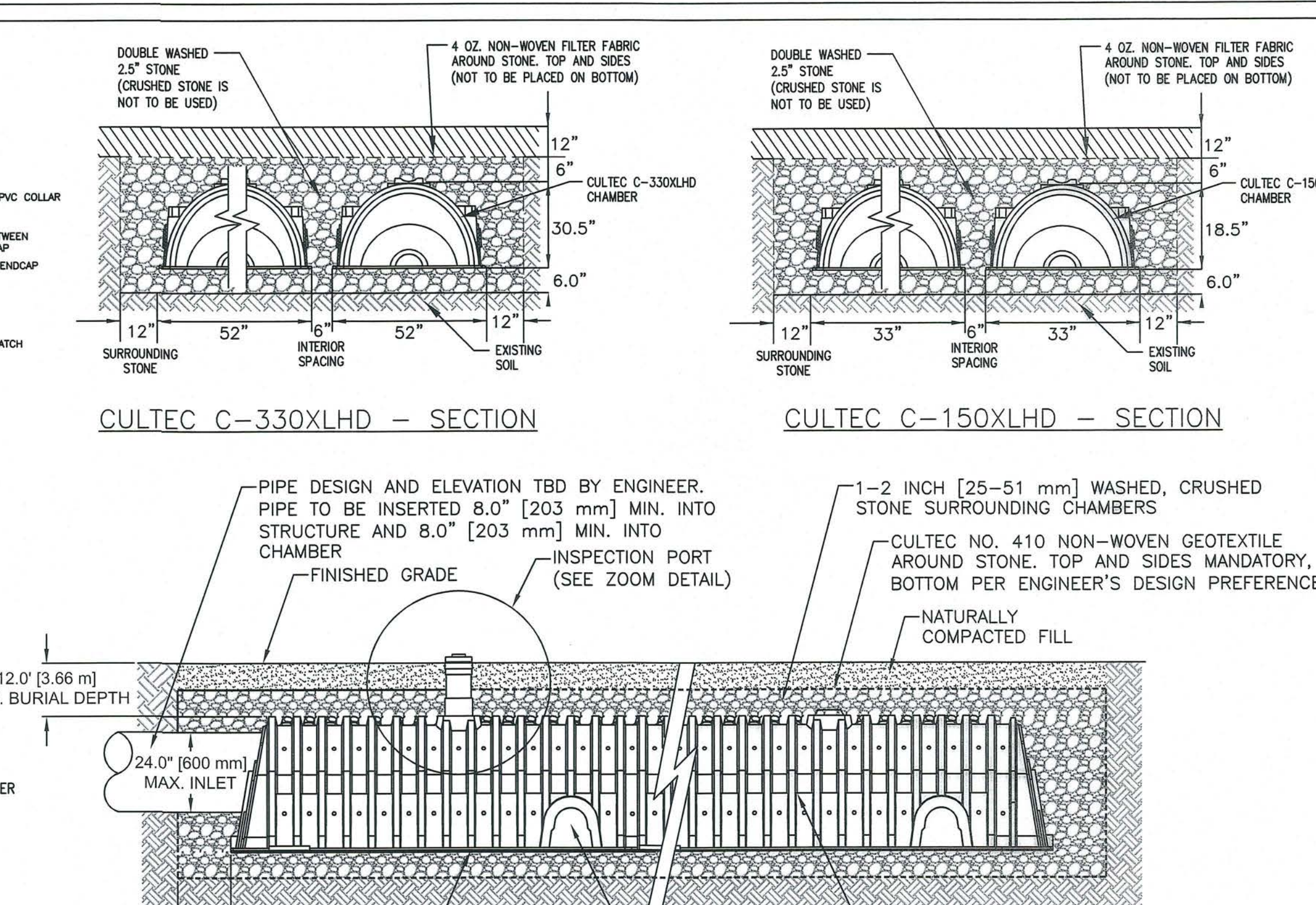


### INSPECTION PORT



### OVERFLOW SCUPPER DRAIN

- NOTES:
1. THE INSPECTION PORTS SHALL BE EXTENDED TO GRADE AND HAVE A REMOVABLE COVER AT SURFACE GRADE.
  2. SEE DETAIL FOR OVERFLOW SCUPPER
  3. AREAS 1-4 SHALL CONSIST OF CULTEC C-150XLHD AS NOTED ON THE PLANS
  4. INFILTRATION AREA "A" IS COMPRISED OF SIXTEEN (16) CULTEC C-330XLHD CHAMBERS.
  5. INFILTRATION AREA "B" IS COMPRISED OF THIRTY-FIVE (35) CULTEC C-330XLHD CHAMBERS.



### CULTEC CHAMBER - PROFILE VIEW

INFILTRATION DETAILS						
INFILTRATION AREA	UNIT #1	UNIT #2	UNIT #3	UNIT #4	AREA "A"	AREA "B"
SURFACE GRADE	167.5±	165.5±	174.5±	167.5±	163.5±	162.5±
CHAMBER BOTTOM	164.5±	162.5±	171.5±	164.5±	159.0±	158.5±
ROOF LEADER INLET	164.7±	162.7±	171.7±	164.7±	159.0±	158.5±
HIGH GROUNDWATER	162.0±	160.0±	164.8±	162.5±	157.0±	156.5±

NOTE: 6 INCHES OF WASHED STONE BELOW CHAMBER BOTTOM

### INFILTRATION TRENCH SYSTEM (CULTEC RECHARGER CHAMBERS)

NOT TO SCALE

### CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED BY THE OWNER AND THE ENGINEER.
2. THE CONTRACTOR SHALL NOTIFY THE RELEVANT TOWN DEPARTMENTS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
3. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE DETAILS.
4. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR. MEASURES SHALL INCLUDE HAY BALE DIKES ALONG THE PERIMETER OF CUTS AND FILLS, MULCHING, AND PLANTING OF DISTURBED AREAS AS SOON AS PRACTICABLE.
6. AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF THE WORK PERIMETER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED.
7. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR IS TO CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 811.
8. THE CONTRACTOR IS TO VERIFY THE LOCATION, SIZE, ANY DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE PROPOSED WORK POSES A CONFLICT WITH THE EXISTING UTILITIES, THE ENGINEER IS TO BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
9. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS, DOOR LOCATIONS, AND ENTRY DETAILS.
10. THE TOWN OF SHERBORN COMMUNITY MAINTENANCE AND DEVELOPMENT DEPARTMENT ARE TO BE NOTIFIED PRIOR TO THE START OF ANY WORK ON NORTH MAIN STREET.
11. NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6' OF THE WATER TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12' ABOVE THE SERVICES.
12. EROSION CONTROL GRASS MIXTURE (SIDE SLOPE GREATER THAN 4 HORIZONTAL TO 1 VERTICAL) FOLLOWING COMPLETION OF GRADING. THE FOLLOWING SEED MIX SHALL BE APPLIED:
13. TYPE OF SEED % BY WEIGHT
 

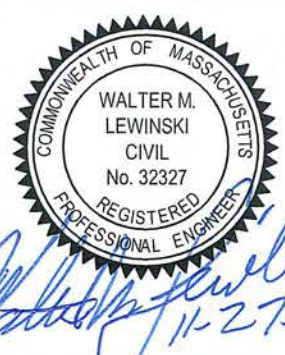
CREEPING RED FESCUE	30
TALL FESCUE	30
WHITE DUTCH CLOVER	30
RED TOP	10
14. ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDED WITH A MINIMUM OF 4" OF TOP SOIL SPREAD EVENLY THROUGHOUT. PROVIDE EROSION CONTROL MEASURES AS NECESSARY TO PROVIDE SLOPE STABILITY UNTIL VEGETATION IS ESTABLISHED.
15. ALL STUMPS, TOP SOIL, SUB SOIL AND OTHER DELETERIOUS MATERIALS ARE TO BE REMOVED FROM THE PROPOSED BUILDING AND PAVING AREAS.

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ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

DRAWN BY: WML  
CHECKED BY: PSB  
APPROVED BY: PSB

REVISIONS:  
11/27/17  
1/25/17  
DATE  
DESCRIPTION  
ISSUED FOR PEER REVIEW  
ISSUED FOR PEER REVIEW



PREPARED BY:  
Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
(508) 480-0225

PROJECT:  
SHERBORN VILLAGE  
A  
RESIDENTIAL DEVELOPMENT  
IN  
SHERBORN, MASSACHUSETTS

TITLE:  
DETAILS  
#59 NORTH MAIN STREET  
SHERBORN, MASSACHUSETTS  
OWNER/APPLICANT:  
HERITAGE PROPERTIES  
490-B BOSTON POST ROAD  
SUDBURY, MA 01776

FILE NO: 3438  
DETAILS  
DATE: JULY 25, 2017  
PLAN NO: 7 of 7



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ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEES LESS THIRD PARTY COSTS.

DESIGN BY: WML  
CHECKED BY: PSB  
APPROVED BY: PSB

REVISIONS:  
0  
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ISSUED FOR PEER REVIEW  
ISSUED FOR PEER REVIEW



PREPARED BY:



Engineering Design Consultants, Inc.  
32 Turnpike Road  
Southborough, Massachusetts  
(508) 480-0225

PROJECT:

SHERBORN VILLAGE  
A  
RESIDENTIAL DEVELOPMENT  
IN  
SHERBORN, MASSACHUSETTS

TITLE:

STORMWATER POLLUTION PREVENTION PLAN  
#59 NORTH MAIN STREET  
SHERBORN, MASSACHUSETTS

OWNER/APPLICANT:

HERITAGE PROPERTIES  
490-B BOSTON POST ROAD  
SUDBURY, MA 01776

FILE NO: 5438

SHPPP

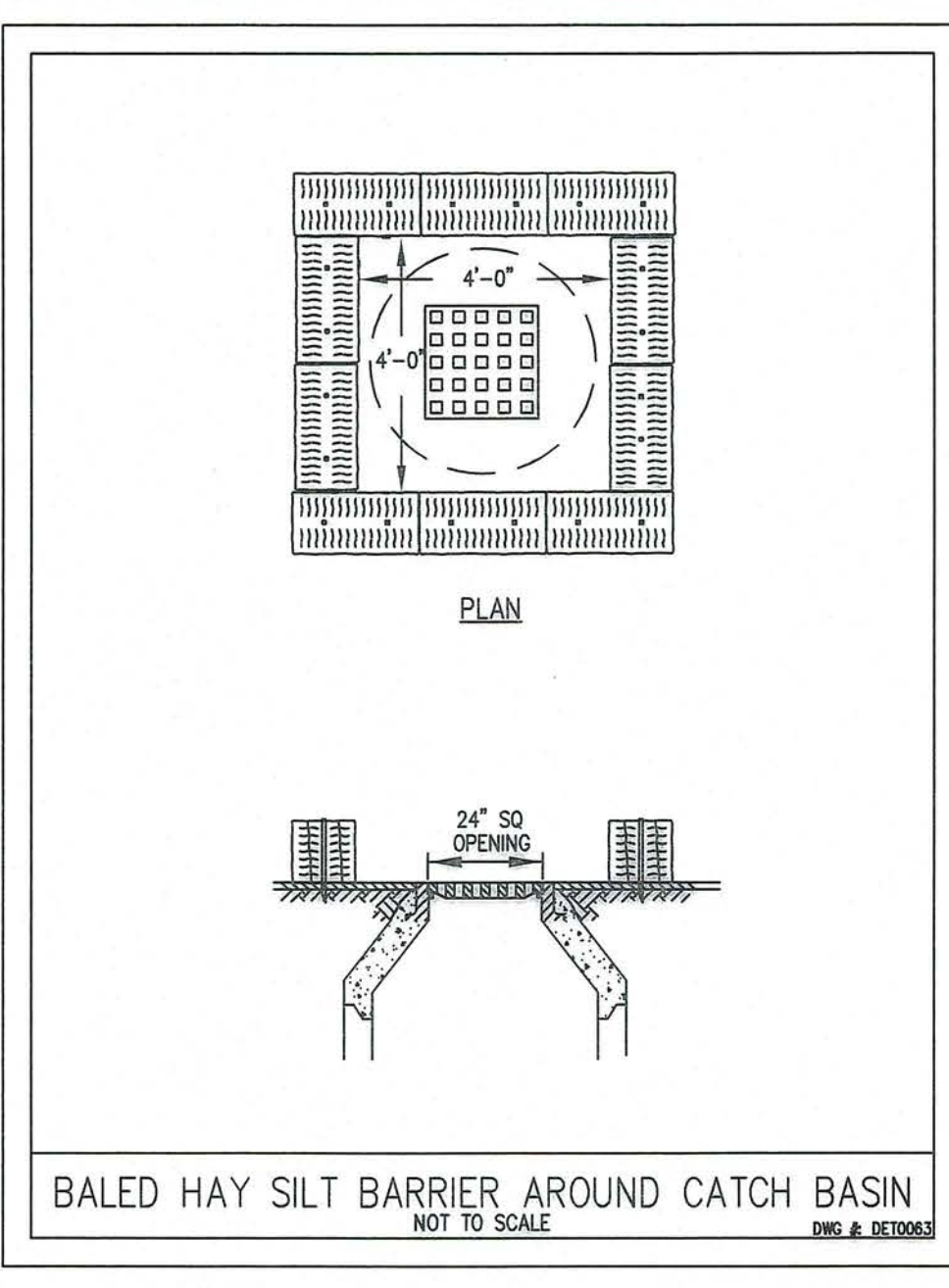
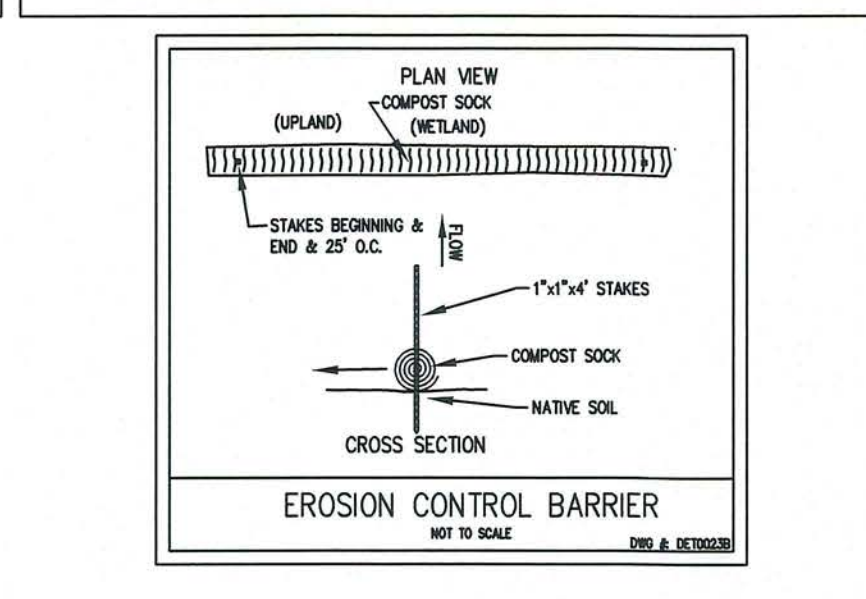
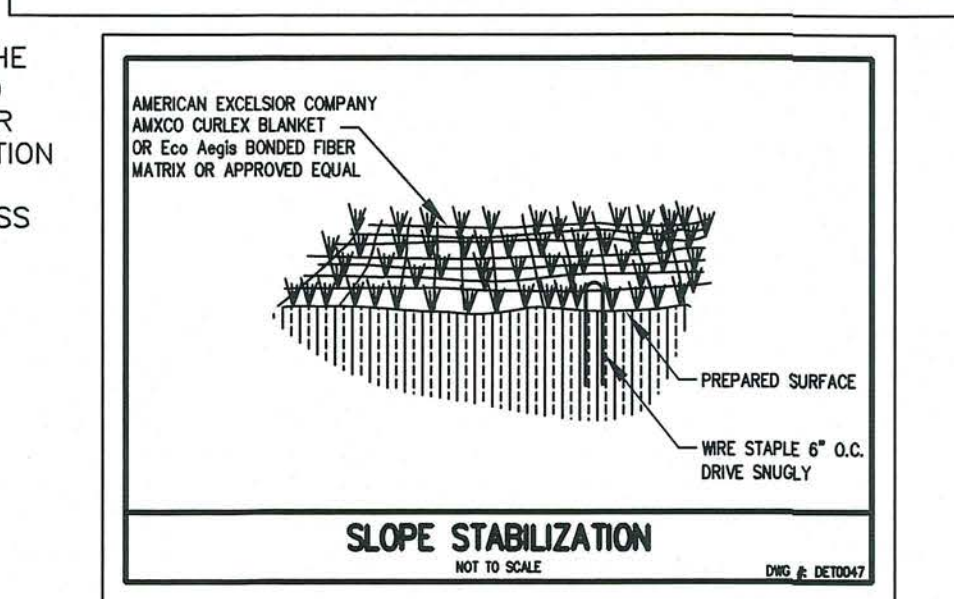
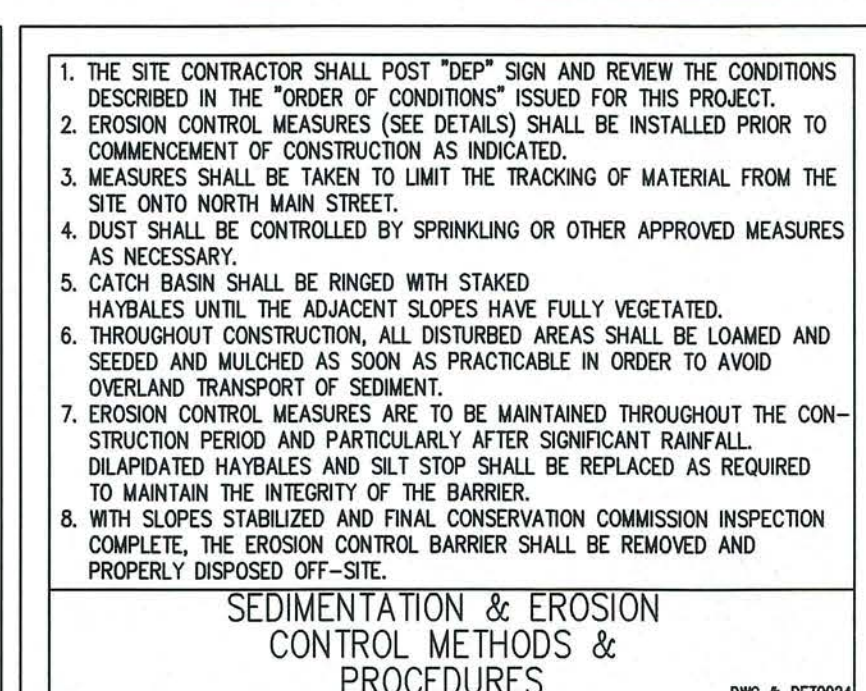
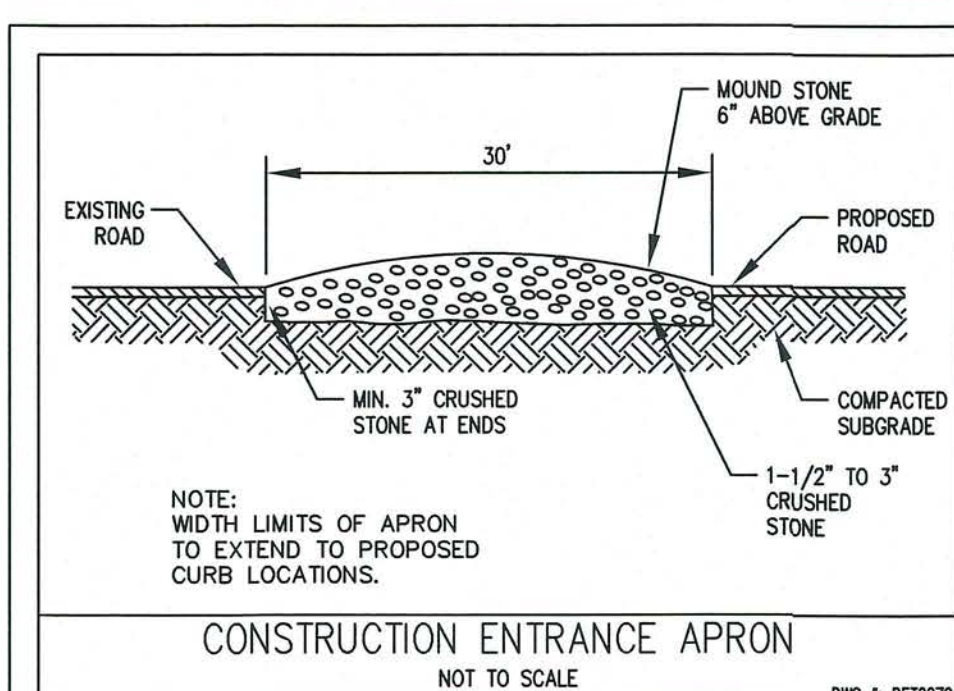
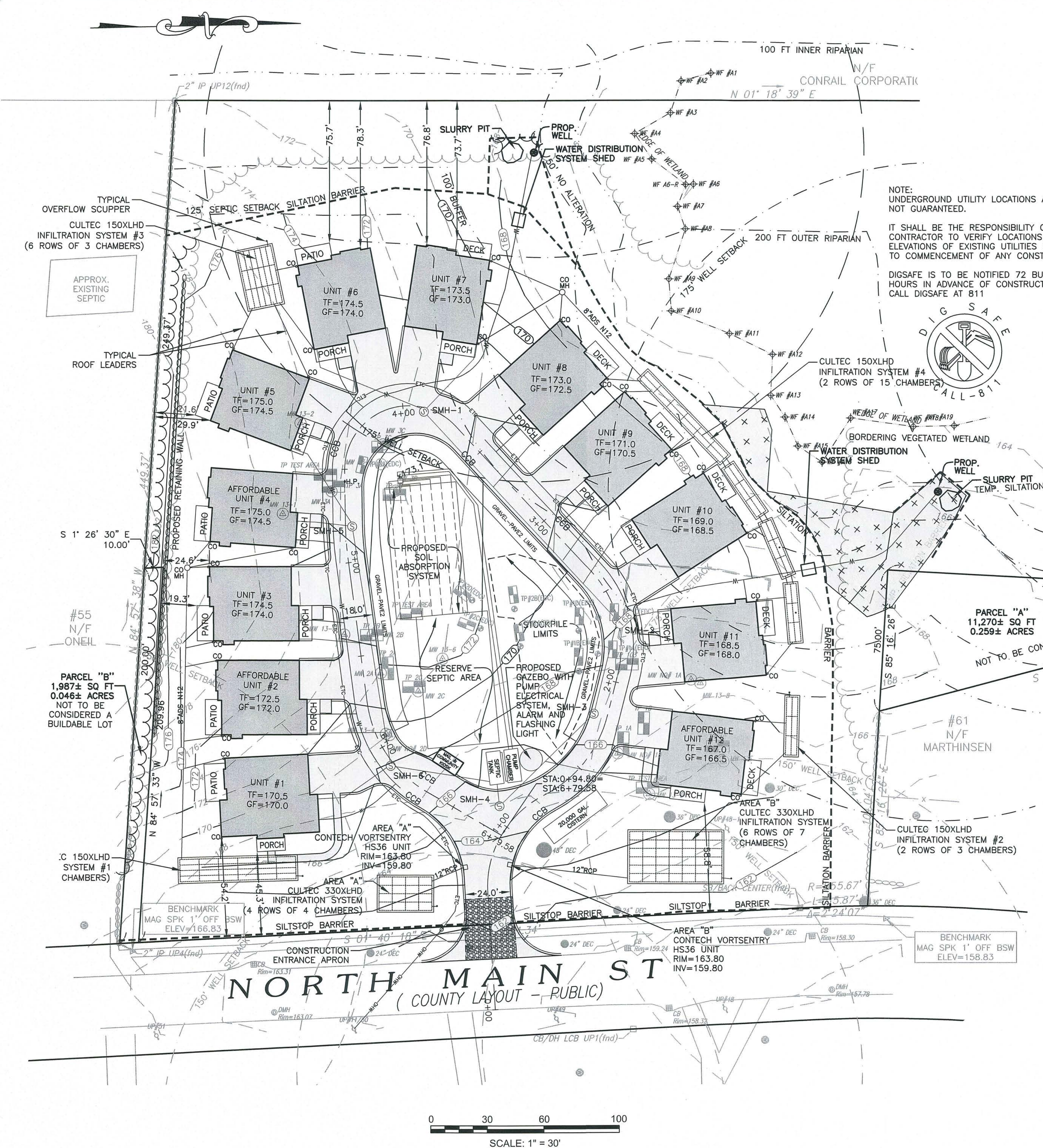
DATE:

JULY 25, 2017

PLAN NO:

1 of 1

1



# OPERATION AND MAINTENANCE PLAN:

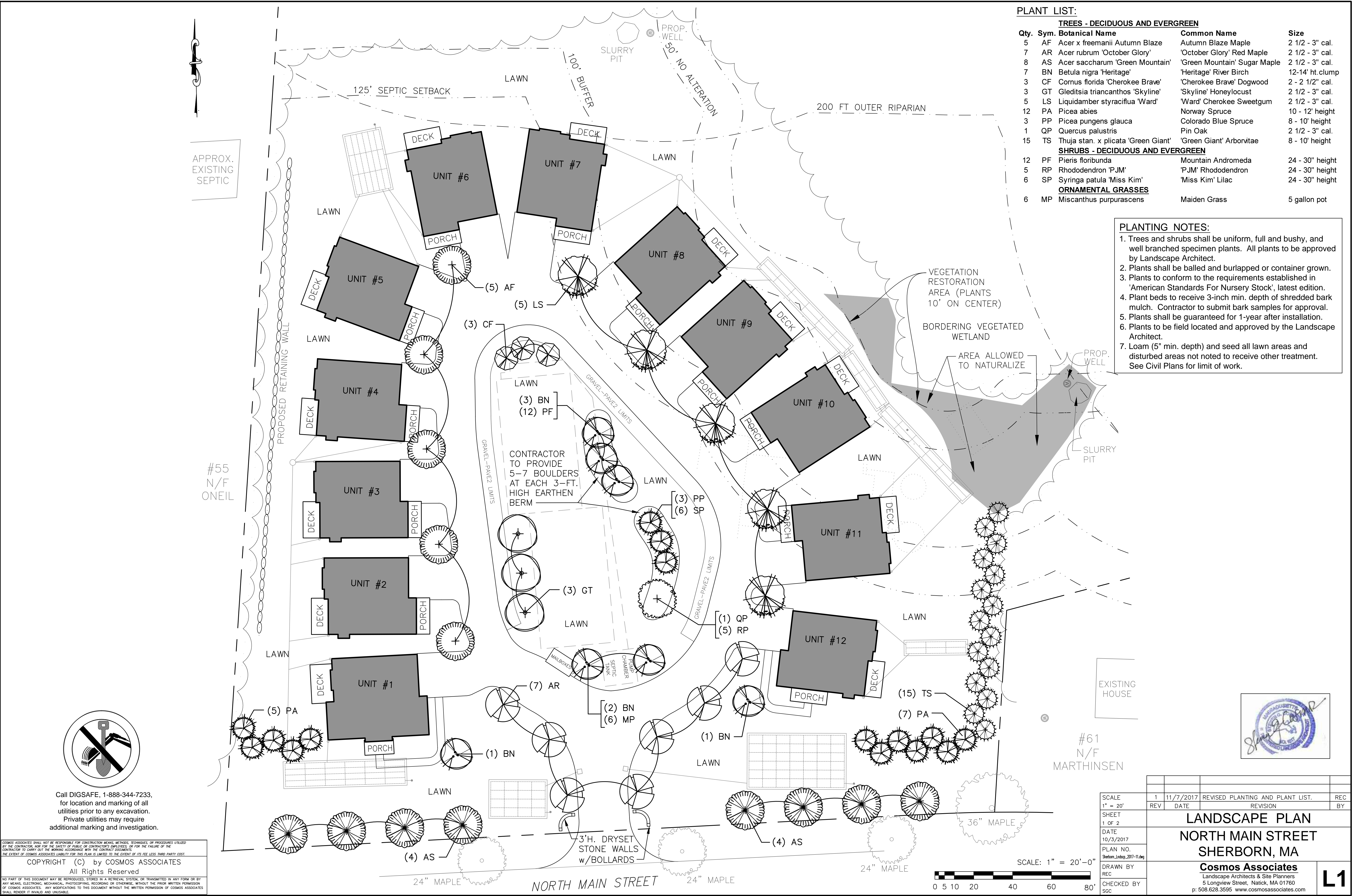
MAJOR O&M PLAN TASKS AND DESCRIPTIONS IS OUTLINED AS FOLLOWS:

- SCHEDULE OF SHORT-TERM OPERATION AND MAINTENANCE (DURING CONSTRUCTION):
  - EROSION CONTROL BARRIER: THE EROSION CONTROL BARRIER SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL BE INSPECTED WEEKLY. PRIOR TO STORM EVENTS AND IMMEDIATELY AFTER STORM EVENTS TO ENSURE ITS INTEGRITY. PORTIONS OF THE EROSION CONTROL BARRIER SHALL BE REMEDIATED AS NECESSARY TO PREVENT EROSION.
  - CONSTRUCTION ENTRANCE APRON: THE CONSTRUCTION ENTRANCE APRON SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL BE INSPECTED WEEKLY. THE CONSTRUCTION ENTRANCE APRON SHALL BE RE-GRADED TO FINAL GRADE AND STABILIZED AS NECESSARY.
  - SLOPE STABILIZATION: THE SLOPE STABILIZATION CONTROLS SHALL BE INSTALLED IMMEDIATELY UPON OBTAINING FINAL GRADES AS SHOWN ON THE PROJECT PLANS. AREAS IN FAILURE SHALL BE RE-GRADED TO FINAL GRADE AND STABILIZED AS NECESSARY.
  - CONSTRUCTION COMPLETION: THE ENTIRE STORM WATER MANAGEMENT SYSTEM SHALL BE INSPECTED UPON COMPLETION OF CONSTRUCTION. PORTIONS OF THE SYSTEM CONTAINING SEDIMENTATION SHALL BE PROPERLY CLEANED AND THE SILT REMOVED.
- MAINTENANCE AGREEMENT/SCHEDULE FOR LONG-TERM OPERATION AND MAINTENANCE (POST CONSTRUCTION)
  - OWNER OF THE STORMWATER SYSTEM: \_\_\_\_\_  
OWNERS SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_
  - PERSON RESPONSIBLE FOR FINANCING MAINTENANCE AND EMERGENCY REPAIRS: \_\_\_\_\_
  - THE ESTIMATED ANNUAL MAINTENANCE COST OF THIS STORMWATER MANAGEMENT SYSTEM IS \$5,000.
  - CDS UNIT INSPECTIONS: INSPECTION IS THE KEY TO EFFECTIVE MAINTENANCE AND IS EASILY PERFORMED. POLLUTANT DEPOSITION AND TRANSPORT MAY VARY FROM YEAR TO YEAR, AND REGULAR INSPECTIONS WILL HELP INSURE THAT THE SYSTEM IS CLEANED OUT AT THE APPROPRIATE TIME. AT A MINIMUM, INSPECTIONS SHOULD BE PERFORMED TWICE PER YEAR (I.E. SPRING AND FALL) HOWEVER MORE FREQUENT INSPECTIONS MAY BE NECESSARY WHERE FREQUENT WINTER SANDING OPERATIONS MAY LEAD TO RAPID ACCUMULATIONS. THE VISUAL INSPECTION SHOULD ASCERTAIN THAT THE SYSTEM COMPONENTS ARE IN WORKING ORDER AND THAT THERE ARE NO BLOCKAGES OR OBSTRUCTIONS TO INLET AND/OR SEPARATION SCREEN. THE INSPECTION SHOULD ALSO IDENTIFY ACCUMULATIONS OF HYDROCARBONS, TRASH, AND SEDIMENT IN THE SYSTEM. MEASURING POLLUTANT ACCUMULATION CAN BE DONE WITH A CALIBRATED DIPSTICK, TAPE MEASURE OR OTHER MEASURING INSTRUMENT. IT IS USEFUL AND OFTEN REQUIRED AS PART OF A PERMIT TO KEEP A RECORD OF EACH INSPECTION. (SEE THE INSPECTION AND MAINTENANCE GUIDE PROVIDED BY THE MANUFACTURER, ATTACHED TO THE DRAINAGE CALCULATIONS SUBMITTED WITH THIS PLAN)
  - CLEANING OF THE CDS UNITS SHOULD BE DONE WHEN SEDIMENT ACCUMULATES AT A DEPTH OF TWO FEET WITHIN THE UNIT AND SHOULD BE DONE DURING DRY WEATHER CONDITIONS WHEN NO FLOW IS ENTERING THE SYSTEM. CLEANOUT WITH A VACUUM TRUCK IS GENERALLY THE MOST EFFECTIVE AND CONVENIENT METHOD OF EXCAVATING POLLUTANTS FROM THE SYSTEM. SIMPLY REMOVE THE MANHOLE COVERS AND INSERT THE VACUUM HOSE INTO THE SUMP. THE SYSTEM SHOULD BE COMPLETELY DRAINED DOWN AND THE SUMP FULLY EVACUATED OF SEDIMENT. THE AREA OUTSIDE THE SCREEN SHOULD BE PUMPED OUT ALSO IF POLLUTANT BUILD-UP EXISTS IN THIS AREA.
  - INFILTRATION CHAMBERS: CONSTRUCTED INFILTRATION CHAMBERS ARE PROVIDED WITH INSPECTION PORTS THAT AFFORD VISUAL ACCESS TO THE CHAMBERS. PERIODIC SMALL-SCALE MAINTENANCE AT REGULAR INTERVALS TO EVALUATE AND REMOVE ANY ACCUMULATED SEDIMENT MAY BE NECESSARY. HOWEVER, WITH PROPER MAINTENANCE OF THE CDS UNITS AND MAINTAINING A HEALTHY LAWN SHOULD MINIMIZE AND POTENTIALLY ELIMINATE THE TRANSPORT OF SEDIMENT INTO THE INFILTRATION CHAMBERS. INSPECT THE INFILTRATION CHAMBERS TWICE ANNUALLY AT THE SAME TIME AS THE CATCH BASINS AND REMOVE ANY SEDIMENT ACCUMULATIONS. IF STORMWATER IS REMAINING IN THE CHAMBERS, IT IS A SIGN THE BOTTOM IS CLOGGED. THE CHAMBERS SHOULD BE REMOVED AS WELL AS THE STONE BED, THE MATERIAL BELOW SHOULD BE SCARIFIED AND THE STONE BED AND CHAMBERS REPLACED.
  - INSPECTION REPORTS: SEE #12 UNDER "CONSTRUCTION PERIOD POLLUTION PREVENTION AND EROSION AND SEDIMENTATION CONTROL PLAN" FOR REPORTS. REPORTS SHALL BE MAINTAINED FOR SUBMISSION TO THE DIRECTOR OF COMMUNITY MAINTENANCE AND DEVELOPMENT ANNUALLY FOR A PERIOD OF THREE YEARS. IF MAINTENANCE OR REPAIRS ARE NECESSARY, A DOCUMENT SHALL BE PROVIDED TO THE DIRECTOR OF COMMUNITY MAINTENANCE AND DEVELOPMENT LISTING THE COMPONENT THAT WAS MAINTAINED/REPAIRED AND WHEN THE REPAIR WAS COMPLETED.
  - ILLUOT DISCHARGES: ALL ILLUOT DISCHARGES TO ANY PART OF THE STORMWATER SYSTEM ARE STRICTLY PROHIBITED. IF AN ACCIDENTAL SPILL OCCURS (OIL AND/OR CHEMICAL SPILLS, RADIATION EMERGENCIES, AND BIOLOGICAL DISCHARGES) THE NATIONAL RESPONSE CENTER MUST BE CALLED AT 1-800-424-8802.

# CONSTRUCTION PERIOD POLLUTION PREVENTION AND EROSION AND SEDIMENTATION CONTROL PLAN:

- NAME OF PERSON AND ENTITY RESPONSIBLE FOR PLAN COMPLIANCE: \_\_\_\_\_
- PROJECT MANAGER OF SHERBORN VILLAGE IS THE CONTACT PERSON. CONTACT NUMBER IS \_\_\_\_\_
- CONSTRUCTION PERIOD POLLUTION PREVENTION MEASURES: AS DEFINED WITHIN.
- EROSION AND SEDIMENTATION CONTROL PLAN DRAWINGS: REFER TO PLAN VIEW FOR EROSION CONTROL MEASURE LOCATIONS.
- DETAIL DRAWINGS AND SPECIFICATIONS FOR EROSION CONTROL: REFER TO INDIVIDUAL DETAILS FOR INSTALLATION OF EROSION CONTROL MEASURES.
- VEGETATION PLANNING: THE PROPOSED CONSTRUCTION ACTIVITIES WILL BE PERFORMED WITHIN THE LIMITS OF WORK AREA (SILTATION BARRIER BEING THE LIMIT OF WORK). THE FINAL PROPOSED SURFACE WILL CONSIST OF PAVING, TREES/SHRUBS/MULCH AND GRASSED AREAS (REFER TO SEQUENCING BELOW).
- SITE DEVELOPMENT PLAN: REFER TO PLAN VIEW & APPROVED SITE PLANS.
- CONSTRUCTION SEQUENCING PLAN: THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE FOLLOWED:
  - EROSION CONTROL PROVISIONS IN PLACE AND INSPECTED PRIOR TO ANY AND ALL CONSTRUCTION.
  - EROSION CONTROL MEASURES AT EXISTING CATCH BASINS IN NORTH MAIN STREET.
  - CLEAR AND GRUB WOODED AREAS, REMOVE ALL UNUSABLE MATERIAL FROM SITE.
  - STRIPE AND STOCKPILE TOPSOIL. PROVIDE TEMPORARY SEEDING OF STOCKPILE, PLACE SILTATION BARRIER AROUND STOCKPILE AND PLACE TAPERS OVER THE STOCKPILE IF NECESSARY.
  - ROUGH GRADE LOT AND DRIVES. REMOVE UNUSABLE MATERIAL FROM SITE.
  - INSTALL ALL UTILITIES & INFILTRATIVE DRAINAGE SYSTEMS. PROTECT THE INFILTRATION AREA FROM STORMWATER RUNOFF. NO SILT OR TOPSOIL IS TO BE DEPOSITED IN THIS AREA, THE INFILTRATION CAPACITY OF THE NATIVE SOIL MUST BE PROTECTED.
  - PERFORM BINDER BASE PAVING OPERATIONS.
  - CONSTRUCTION OF BUILDING UNITS.
  - EROSION CONTROL MEASURES AT NEW DRAINAGE INLET UNITS.
  - FINAL GRADING.
  - LOAM AND SEED ALL DISTURBED AREAS & LANDSCAPE.
  - PERFORM FINAL PAVING OPERATIONS.
  - REMOVE EROSION CONTROL PROVISIONS UPON STABILIZATION AND FINAL SITE INSPECTION.
- SEQUENCING OF EROSION AND SEDIMENTATION CONTROLS: EROSION CONTROL PROVISIONS IN PLACE AND INSPECTED PRIOR TO ANY AND ALL CONSTRUCTION.
- OPERATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS: THE CONTRACTOR/OPERATOR IS RESPONSIBLE FOR MAINTAINING A STABLE SITE. THE OPERATOR SHALL EMPLOY EROSION AND SEDIMENTATION CONTROLS TO PREVENT EROSION AND SEDIMENT RELEASES BEYOND THE SEDIMENT BARRIER. THE EROSION CONTROL MEASURES INDICATED ARE THE MINIMUM THAT SHOULD BE EMPLOYED. THE CONTRACTOR/OPERATOR SHALL EMPLOY ADDITIONAL CONTROLS AS THE ON-SITE CONSTRUCTION EXPERIENCE DICTATES.
- STREET SWEEPING OF NORTH MAIN STREET SHALL BE PROVIDED ONCE A WEEK UNTIL CONSTRUCTION COMPLETION.
- INSPECTION SCHEDULE:
  - INSPECTIONS SHALL TAKE PLACE AT LEAST ONCE EVERY 7 CALENDAR DAYS OR WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.25" OF RAIN OR GREATER.
  - INSPECTION FREQUENCY MAY BE REDUCED TO ONCE A MONTH IF THE ENTIRE SITE IS TEMPORARILY STABILIZED OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS.
  - INSPECTIONS MUST BE CONDUCTED BY A PROPERLY AUTHORIZED QUALIFIED PERSONNEL.
  - INSPECTIONS SHALL INCLUDE ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION ACTIVITIES. INSPECTIONS MUST LOOK FOR EVIDENCE OF POLLUTANTS OR POTENTIAL POLLUTANTS ENTERING THE STORM WATER SYSTEM. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED TO ENSURE PROPER OPERATION. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.
- MAINTENANCE SCHEDULE: REPORTS SUMMARIZING THE INSPECTIONS SHOULD BE KEPT AS PART OF THIS CONSTRUCTION PERIOD POLLUTION PREVENTION AND SOIL EROSION AND SEDIMENTATION CONTROL PLAN. AT A MINIMUM THE INSPECTION REPORTS SHALL INCLUDE:
  - INSPECTION DATE;
  - NAME, TITLE AND QUALIFICATIONS OF THE PERSONNEL MAKING THE INSPECTION;
  - WEATHER CONDITIONS AT THE TIME OF INSPECTION AND SINCE THE PREVIOUS INSPECTION, INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT THAT OCCURRED, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT, AND WHETHER ANY DISCHARGES HAVE OCCURRED;
  - DISCHARGES THAT OCCUR AT THE TIME OF INSPECTION;
  - LOCATION OF DISCHARGES OR SEDIMENTATION FROM THE SITE;
  - LOCATION OF "Bmps" THAT NEED TO BE MAINTAINED;
  - LOCATION OF "Bmps" THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
  - LOCATIONS WHERE ADDITIONAL "Bmps" ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND
  - CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THIS PLAN.
- ALL REPORTS SHALL BE SUBMITTED TO THE DIRECTOR OF COMMUNITY MAINTENANCE AND DEVELOPMENT ON A MONTHLY BASIS DURING CONSTRUCTION PERIOD, AND MAINTAINED FOR THREE YEARS AFTER FINAL CONSTRUCTION PROJECT CLOSEOUT IS COMPLETE.



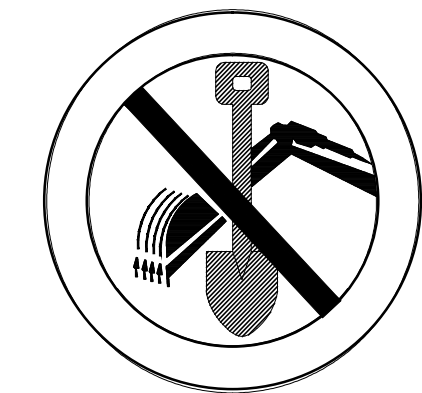


PLANT LIST:

TREES - DECIDUOUS AND EVERGREEN				
Qty.	Sym.	Botanical Name	Common Name	Size
5	AF	Acer x freemanii Autumn Blaze	Autumn Blaze Maple	2 1/2 - 3" cal.
7	AR	Acer rubrum 'October Glory'	'October Glory' Red Maple	2 1/2 - 3" cal.
8	AS	Acer saccharum 'Green Mountain'	'Green Mountain' Sugar Maple	2 1/2 - 3" cal.
7	BN	Betula nigra 'Heritage'	'Heritage' River Birch	12-14' ht. clump
3	CF	Cornus florida 'Cherokee Brave'	'Cherokee Brave' Dogwood	2 - 2 1/2" cal.
3	GT	Gleditsia triacanthos 'Skyline'	'Skyline' Honeylocust	2 1/2 - 3" cal.
5	LS	Liquidambar styraciflua 'Ward'	'Ward' Cherokee Sweetgum	2 1/2 - 3" cal.
12	PA	Picea abies	Norway Spruce	10 - 12' height
3	PP	Picea pungens glauca	Colorado Blue Spruce	8 - 10' height
1	QP	Quercus palustris	Pin Oak	2 1/2 - 3" cal.
15	TS	Thuja stan. x plicata 'Green Giant'	'Green Giant' Arborvitae	8 - 10' height
SHRUBS - DECIDUOUS AND EVERGREEN				
12	PF	Pieris floribunda	Mountain Andromeda	24 - 30" height
5	RP	Rhododendron 'PJM'	'PJM' Rhododendron	24 - 30" height
6	SP	Syringa patula 'Miss Kim'	'Miss Kim' Lilac	24 - 30" height
ORNAMENTAL GRASSES				
6	MP	Miscanthus purpurascens	Maiden Grass	5 gallon pot

PLANTING NOTES:

1. Trees and shrubs shall be uniform, full and bushy, and well branched specimen plants. All plants to be approved by Landscape Architect.
2. Plants shall be balled and burlapped or container grown.
3. Plants to conform to the requirements established in 'American Standards For Nursery Stock', latest edition.
4. Plant beds to receive 3-inch min. depth of shredded bark mulch. Contractor to submit bark samples for approval.
5. Plants shall be guaranteed for 1-year after installation.
6. Plants to be field located and approved by the Landscape Architect.
7. Loam (5" min. depth) and seed all lawn areas and disturbed areas not noted to receive other treatment. See Civil Plans for limit of work.



Call DIGSAFE, 1-888-344-7233, for location and marking of all utilities prior to any excavation. Private utilities may require additional marking and investigation.

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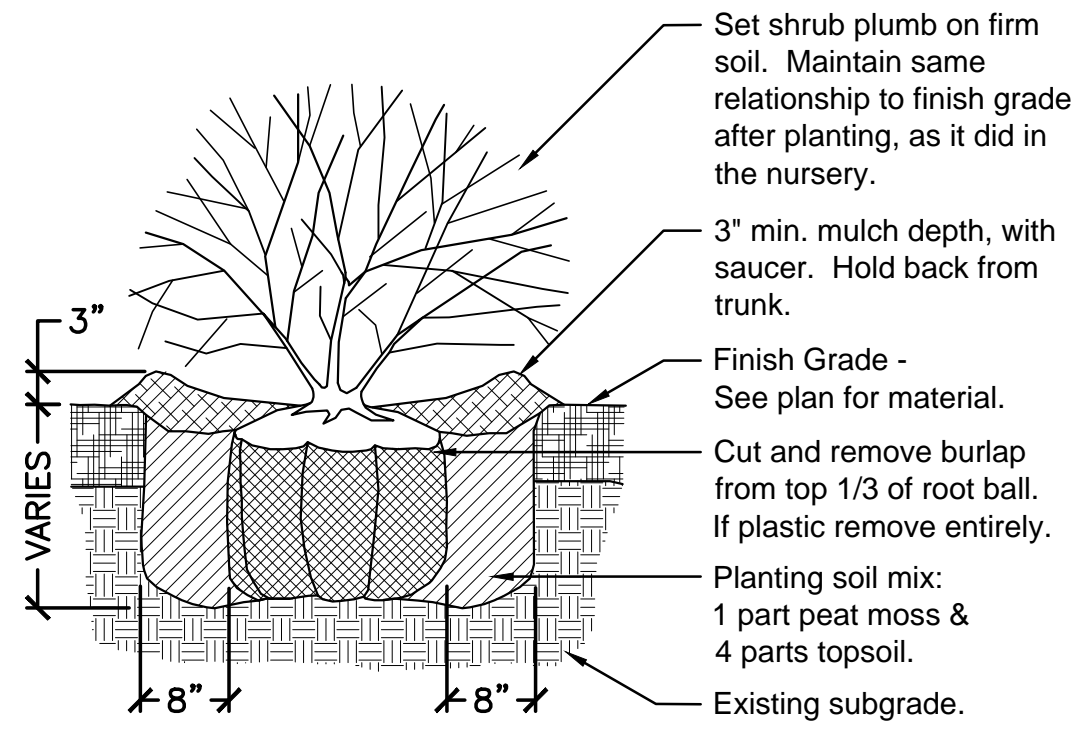
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SCALE	1	11/7/2017	REVISED PLANTING AND PLANT LIST.	REC
1" = 20'	REV	DATE	REVISION	BY
SHEET 1 OF 2				
DATE 10/3/2017				
PLAN NO. Sherborn_Landsc_2017-11.dwg				
DRAWN BY REC				
CHECKED BY SOC				
LANDSCAPE PLAN				
NORTH MAIN STREET				
SHERBORN, MA				
Cosmos Associates Landscape Architects & Site Planners 5 Longview Street, Natick, MA 01760 p: 508.628.3595 www.cosmosassociates.com				
L1				

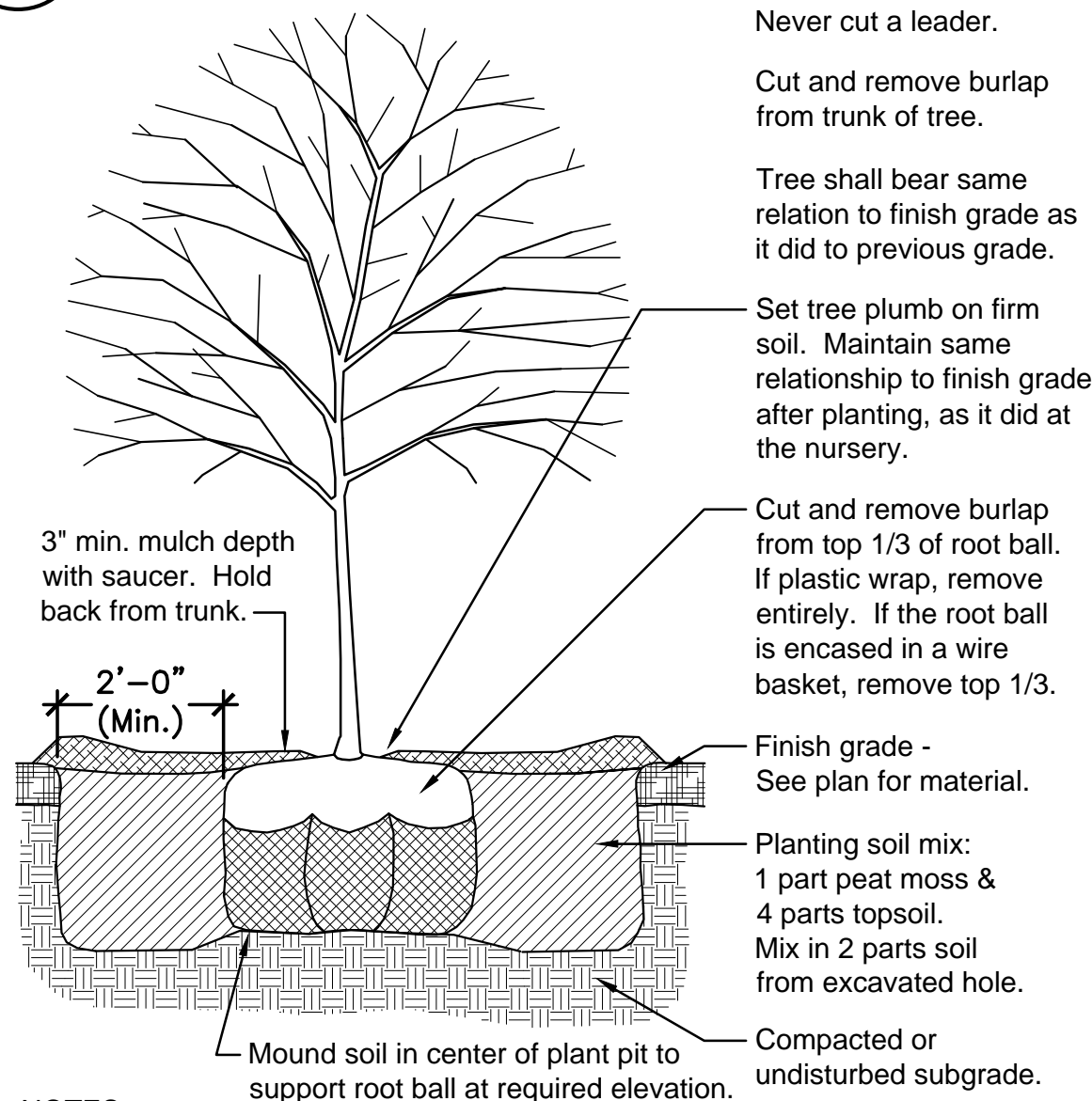




- NOTES:
1. New shrub beds to have a minimum of one foot planting soil.
  2. Shrubs to be full and bushy.

### 1 TYPICAL SHRUB PLANTING

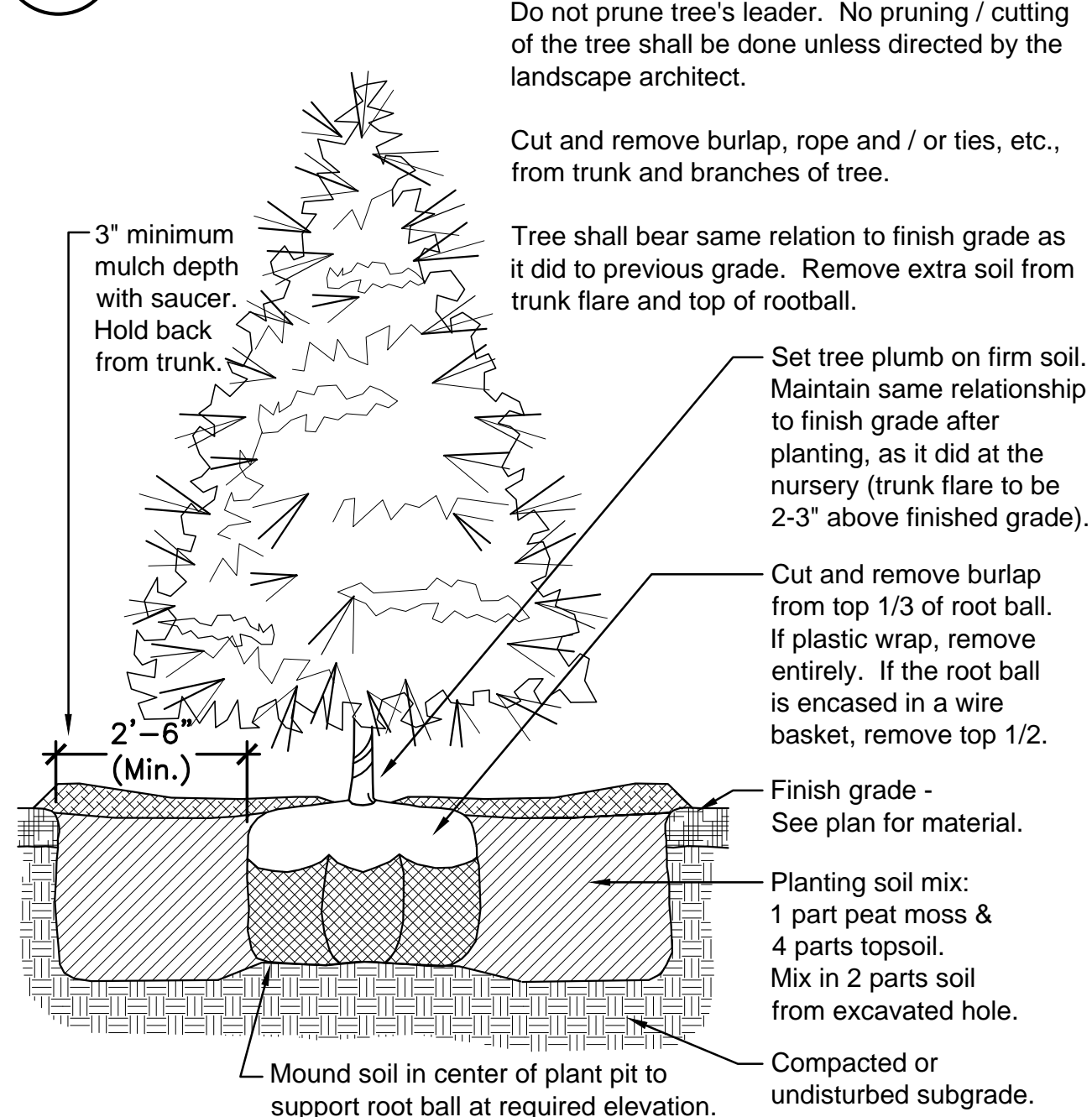
Scale: 3/4" = 1' - 0"



- NOTES:
1. Soak each tree twice weekly, for (3) weeks after fall planting
  2. Soak each tree twice weekly, during spring and summer planting.

### 2 TYP. DECIDUOUS TREE PLANTING

Scale: 1/2" = 1' - 0"



- NOTES:
1. Flood saucer twice during the first 24-hours after planting.
  2. Soak each tree twice weekly, for (3) weeks after fall planting.
  3. Soak each tree twice weekly, during spring and summer planting.

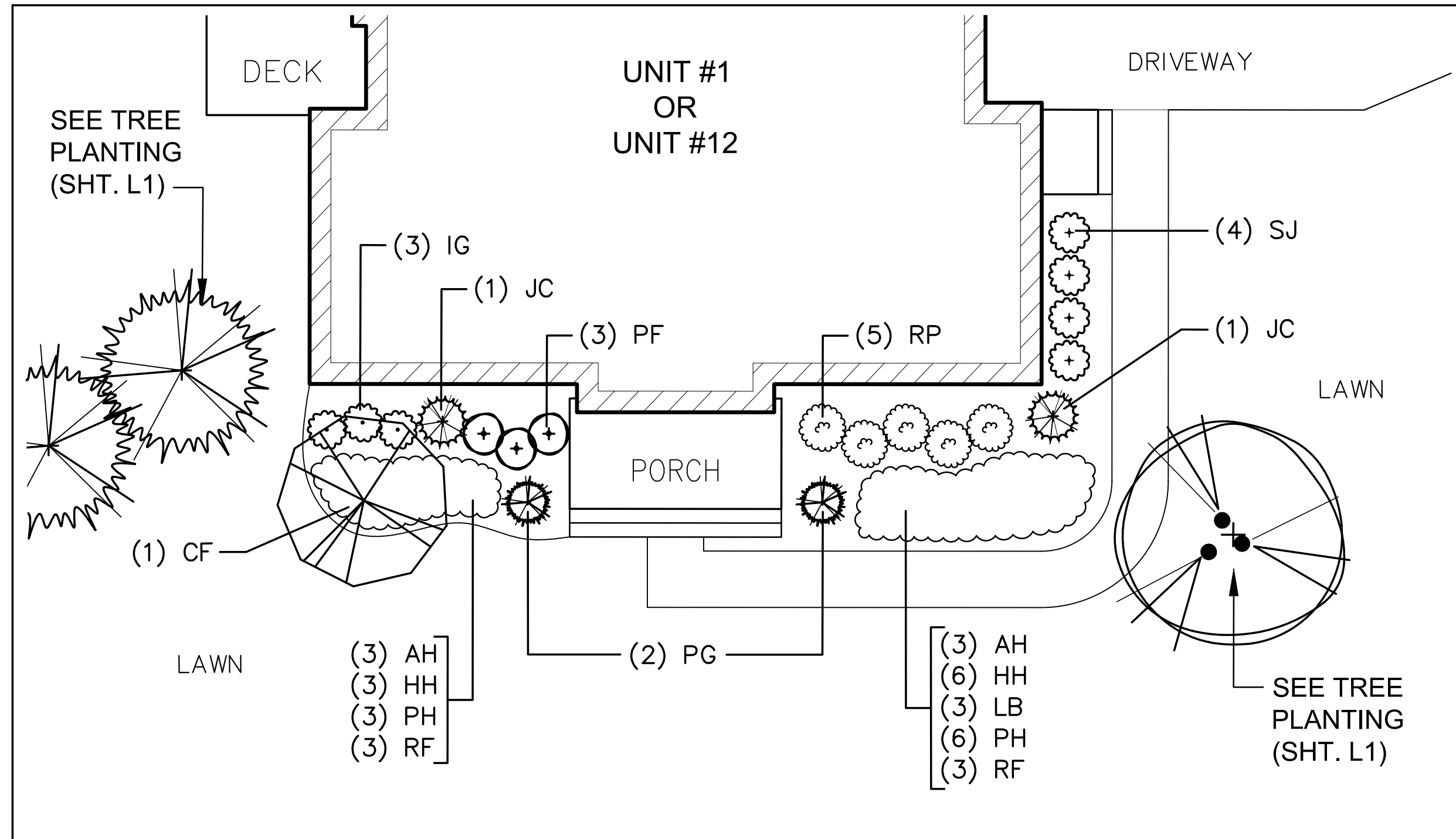
### 3 TYP. EVERGREEN TREE PLANTING

Scale: 1/2" = 1' - 0"

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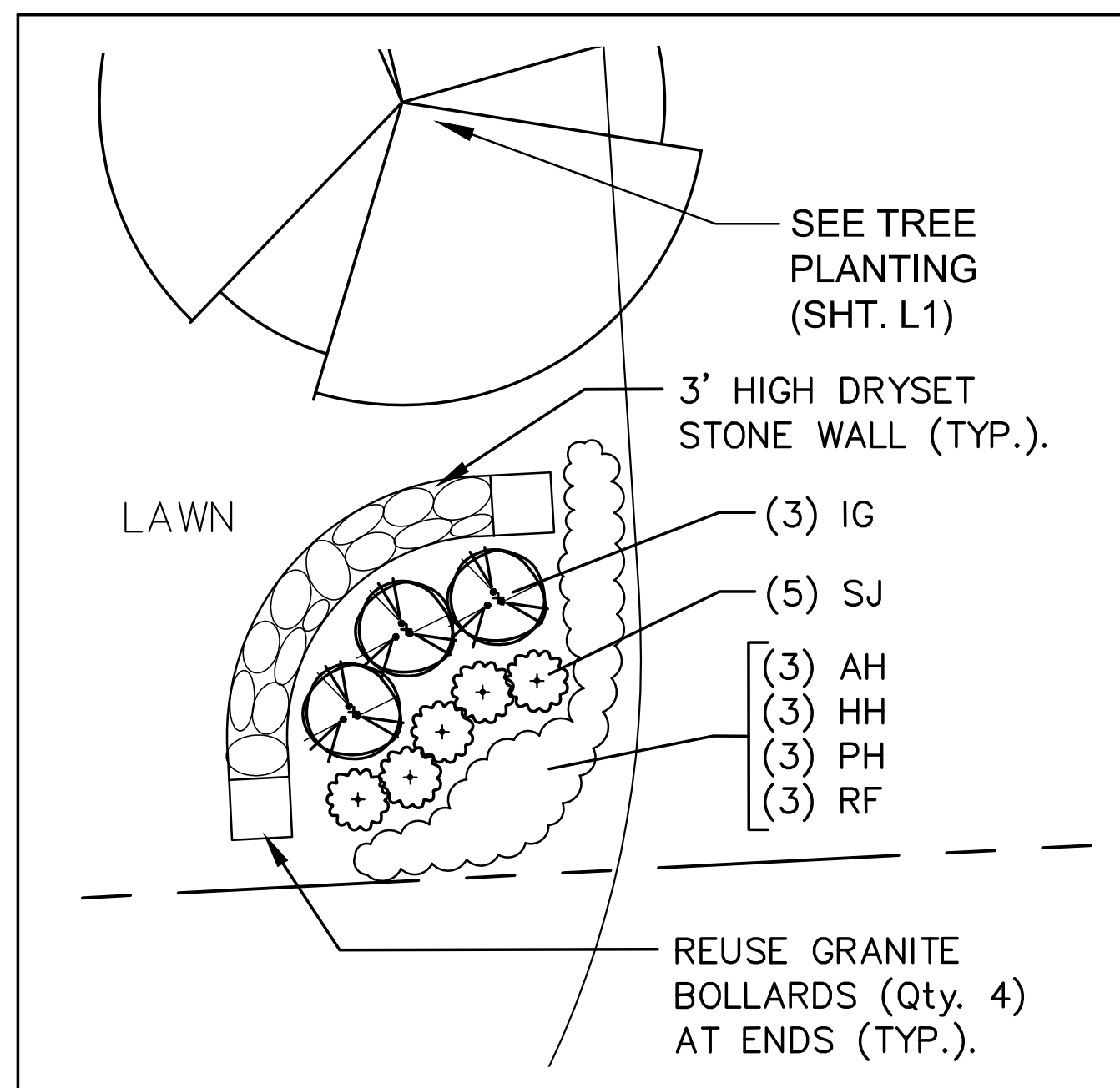


### ENLARGEMENT PLAN - UNIT #1 & UNIT #12:

#### PLANT LIST:

TREES AND SHRUBS - DECIDUOUS AND EVERGREEN					
Qty.	Sym.	Botanical Name	Common Name	Size	
2	CF	Cornus florida 'Cherokee Brave'	'Cherokee Brave' Dogwood	2 - 2 1/2" cal.	
6	IG	Ilex glabra 'Shamrock'	'Shamrock' Inkberry	24 - 30" height	
4	JC	Juniperus chinensis communis	'Gold Cone' Common Juniper	10 gallon pot	
6	PF	Pieris floribunda	Mountain Andromeda	24 - 30" height	
4	PG	Picea glauca 'Conica'	Dwarf Alberta Spruce	30 - 36" height	
10	RP	Rhododendron 'PJM'	'PJM' Rhododendron	24 - 30" height	
8	SJ	Spirea japonica 'Gold Mound'	'Gold Mound' Spirea	18 - 24" height	
PERENNIALS AND ORNAMENTAL GRASSES					
12	AH	Amsonia hubrechtii	Blue Star	2 gallon pot	
18	HH	Hemerocallis x 'Happy Returns'	'Happy Returns' Daylily	2 gallon pot	
6	LB	Leucanthemum x superbum 'Becky'	'Becky' Shasta Daisy	2 gallon pot	
18	PH	Pennisetum alopecuroides 'Hameln'	'Hameln' Dwarf Fountain Grass	2 gallon pot	
12	RF	Rudbeckia fulgida 'Goldsturm'	'Goldsturm' Black-Eyed Susan	2 gallon pot	

NOTE: QUANTITIES LISTED ABOVE, INCLUDE PLANTINGS AT UNITS #1 AND #12.



### ENLARGEMENT PLAN - WALL AT ENTRY



SCALE: 1/4" = 1'-0"



SCALE: 1/8" = 1'-0"

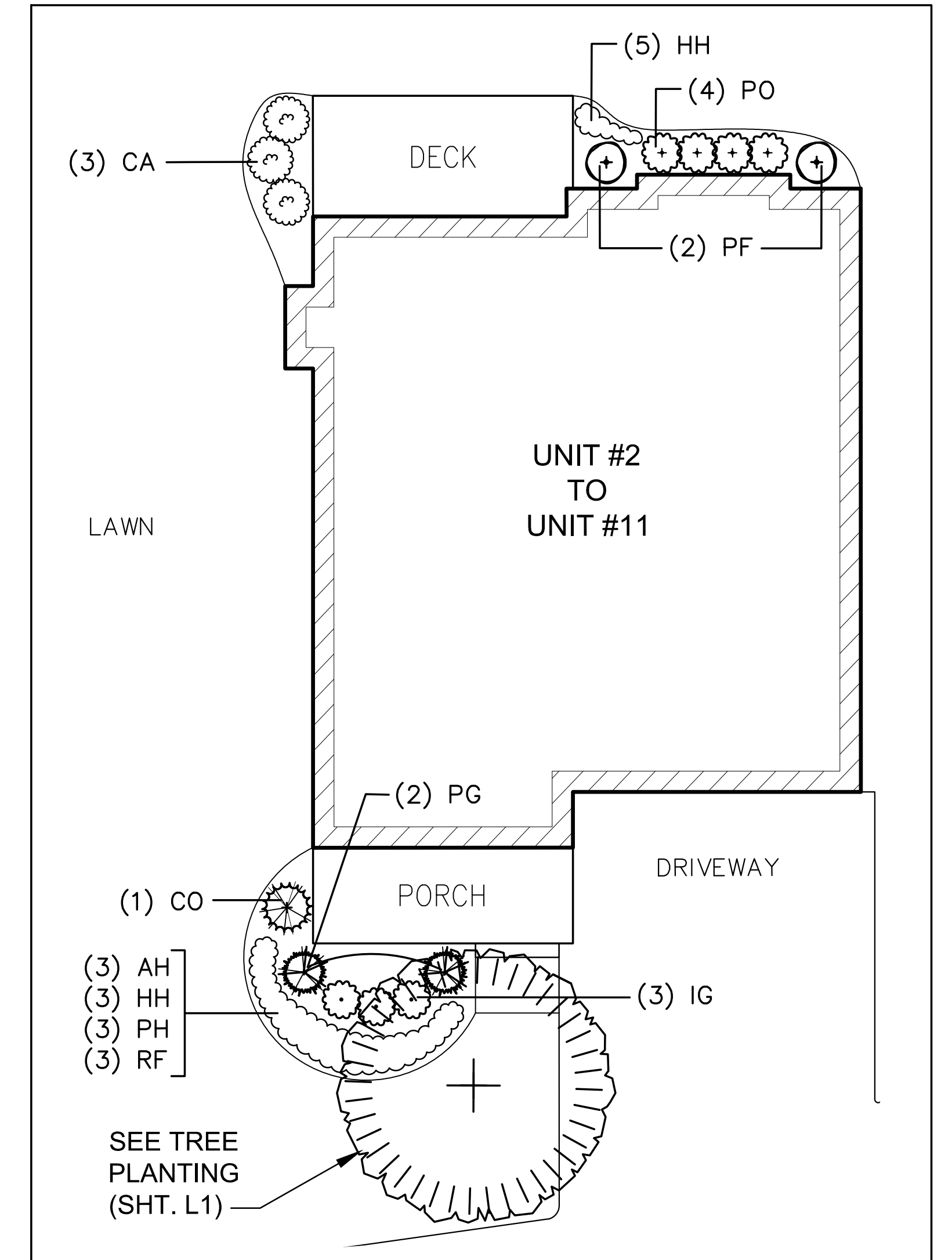
#### PLANTING NOTES:

1. Trees and shrubs shall be uniform, full and bushy, and well branched specimen plants. All plants to be approved by Landscape Architect.
2. Plants shall be balled and burlapped or container grown.
3. Plants to conform to the requirements established in 'American Standards For Nursery Stock', latest edition.
4. Plant beds to receive 3-inch min. depth of shredded bark mulch. Contractor to submit bark samples for approval.
5. Plants shall be guaranteed for 1-year after installation.
6. Plants to be field located and approved by the Landscape Architect.
7. Loam (5" min. depth) and seed all lawn areas and disturbed areas not noted to receive other treatment. See Civil Plans for limit of work.

#### PLANT LIST:

SHRUBS - DECIDUOUS AND EVERGREEN					
Qty.	Sym.	Botanical Name	Common Name	Size	
6	IG	Ilex glabra 'Shamrock'	'Shamrock' Inkberry	24 - 30" height	
10	SJ	Spirea japonica 'Gold Mound'	'Gold Mound' Spirea	18 - 24" height	
PERENNIALS AND ORNAMENTAL GRASSES					
6	AH	Amsonia hubrechtii	Blue Star	2 gallon pot	
6	HH	Hemerocallis x 'Happy Returns'	'Happy Returns' Daylily	2 gallon pot	
6	PH	Pennisetum alopecuroides 'Hameln'	'Hameln' Dwarf Fountain Grass	2 gallon pot	
6	RF	Rudbeckia fulgida 'Goldsturm'	'Goldsturm' Black-Eyed Susan	2 gallon pot	

NOTE: QUANTITIES LISTED ABOVE, INCLUDE PLANTINGS AT BOTH ENTRY WALLS.



### ENLARGEMENT PLAN - UNIT #2 TO UNIT #11:



SCALE: 1/8" = 1'-0"

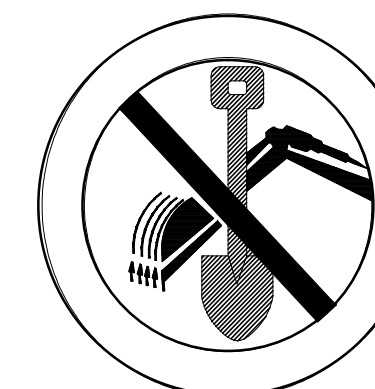
#### PLANT LIST:

SHRUBS - DECIDUOUS AND EVERGREEN					
Qty.	Sym.	Botanical Name	Common Name	Size	
30	CA	Clethra alnifolia 'Ruby Spice'	'Ruby Spice' Summersweet	24 - 30" height	
10	CO	Chamaecyparis obtusa 'Fernspray'	'Fernspray' Hinoki Cypress	3 - 4' height	
30	IG	Ilex glabra 'Shamrock'	'Shamrock' Inkberry	24 - 30" height	
20	PF	Pieris floribunda	Mountain Andromeda	24 - 30" height	
20	PG	Picea glauca 'Conica'	Dwarf Alberta Spruce	30 - 36" height	
40	PO	Physocarpus opulifolius 'Diabolo'	'Diabolo' Purple Ninebark	24 - 30" height	
PERENNIALS AND ORNAMENTAL GRASSES					
30	AH	Amsonia hubrechtii	Blue Star	2 gallon pot	
80	HH	Hemerocallis x 'Happy Returns'	'Happy Returns' Daylily	2 gallon pot	
30	PH	Pennisetum alopecuroides 'Hameln'	'Hameln' Dwarf Fountain Grass	2 gallon pot	
30	RF	Rudbeckia fulgida 'Goldsturm'	'Goldsturm' Black-Eyed Susan	2 gallon pot	

NOTE: QUANTITIES LISTED ABOVE, INCLUDE PLANTINGS AT UNITS #2 TO #11.



SCALE	1	11/7/2017	REVISED PLANTING AND PLANT LIST.	REC
AS SHOWN	REV	DATE	REVISION	BY
SHEET	2	OF 2		
DATE	10/3/2017			
PLAN NO.	Sherborn_Lnbgg_2017-11.dwg			
DRAWN BY	REC			
CHECKED BY	SEC			
LANDSCAPE ENLARGEMENTS				
NORTH MAIN STREET				
SHERBORN, MA				
Cosmos Associates				
Landscape Architects & Site Planners				
5 Longview Street, Natick, MA 01760				
p: 508.628.3595 www.cosmosassociates.com				
L2				



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