

SHERBORN VILLAGE

IN

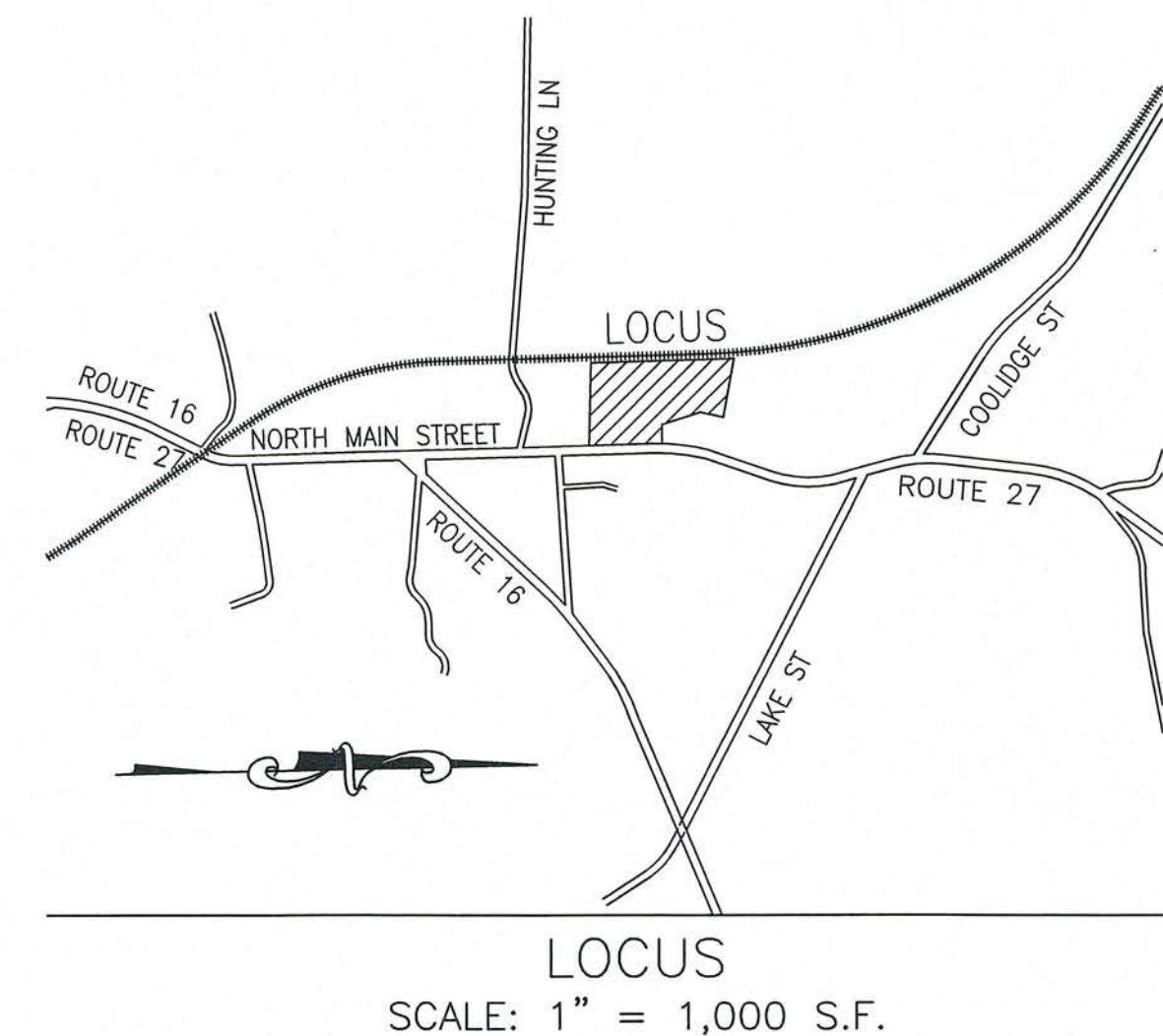
SHERBORN, MASSACHUSETTS

(MIDDLESEX COUNTY)

HERITAGE PROPERTIES
490-B BOSTON POST ROAD
SUDBURY, MA 01776

OWNER/APPLICANT:
HERITAGE PROPERTIES
490-B BOSTON POST ROAD
SUDBURY, MA 01776

ENGINEER:
ENGINEERING DESIGN
CONSULTANTS, INC.
32 TURNPIKE ROAD
SOUTHBOROUGH, MASSACHUSETTS



SHEET INDEX	
SHEET	TITLE
1	COVER
2	EXISTING CONDITIONS
3	LAYOUT & MATERIALS
4	GRADING & UTILITIES
5	PROFILE
6	LIGHTING
7	DETAILS
L1	LANDSCAPE PLAN
L2	LANDSCAPE DETAILS

LEGEND

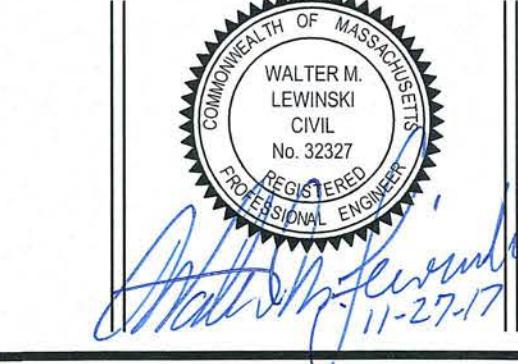
BIT CONC	BITUMINOUS CONCRETE
CB	CATCH BASIN
CC	CONCRETE CURB
CCB	CAPE COD BERM
CO	CLEAN OUT
CONC	CONCRETE
CS	CURB STOP
D	DRAINLINE
DCB	DOUBLE CATCH BASIN
DI	DUCTILE IRON
DMH	DRAIN MANHOLE
ELEC	ELECTRIC
EMH	ELECTRIC MANHOLE
ETC	ELECTRIC, TELEPHONE, CABLE
FD	FOUNDATION DRAIN
FE	FLARED END
GAS	GAS LINE
GG	GAS GATE
GV	GATE VALVE
HC	HANDICAPPED RAMP
HYD	HYDRANT
INV	INVERT
LP	LIGHT POLE
MH	MANHOLE
PIV	POST INDICATOR VALVE
PPVC	PERFORATED POLY-VINYL-CHLORIDE
PVC	POLY-VINYL-CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD OR RL	ROOF DRAIN OR ROOF LEADER
S	SEWER LINE
SB/DH	STONE BOUND/DRILLHOLE
SGC	SLOPED GRANITE CURB
SMH	SEWER MANHOLE
TD	TRENCH DRAIN
TELE	TELEPHONE LINE
TMH	TELEPHONE MANHOLE
TRANS	TRANSFORMER
TS	TRANSITION STONE
UD	UNDERDRAIN
VGC	VERTICAL GRANITE CURB
W	WATER LINE
WG	WATER GATE
— S	SIGN
⊕ TP	BORING
⊕	SOIL TEST PIT
⊕ WF	PERCOLATION TEST
ECB	WETLAND FLAG
T24	EROSION CONTROL BARRIER
□ (TBS)	24" TREE
□	STONE BOUND/DRILL HOLE TO BE SET
□	WATER SHUTOFF

ALL RIGHTS RESERVED
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, COPIED OR OTHERWISE
TRANSMITTED, IN ANY FORM, OR BY ANY MEANS, ELECTRONIC
OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF ENGINEERING DESIGN CONSULTANTS, INC. ANY
MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF ENGINEERING DESIGN CONSULTANTS, INC. ARE
INVALID AND UNUSABLE.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, COPIED OR OTHERWISE
TRANSMITTED, IN ANY FORM, OR BY ANY MEANS, ELECTRONIC
OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF ENGINEERING DESIGN CONSULTANTS, INC. ANY
MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF ENGINEERING DESIGN CONSULTANTS, INC. ARE
INVALID AND UNUSABLE.

Engineering Design Consultants, Inc.'s liability for this plan is limited to the extent of its fee less
third party costs.

DRAWN BY:	WML	REVISIONS	11/27/17	ISSUED FOR PEER REVIEW
CHKD BY:	PSB	0	7/25/17	ISSUED FOR PEER REVIEW
APPROV BY:	PSB	REV #	DATE	DESCRIPTION



PREPARED BY:

Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
(508) 480-0225

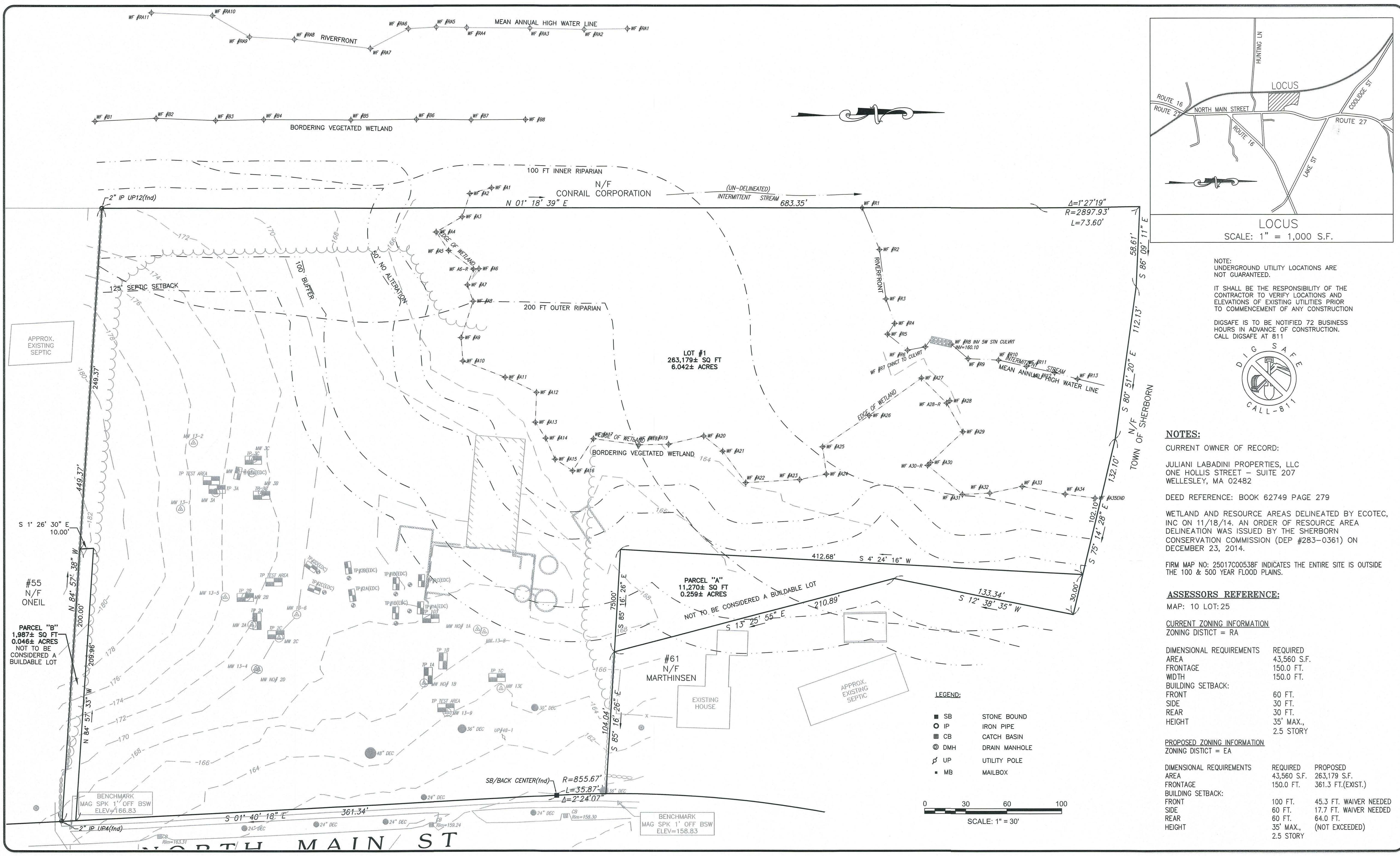
PROJECT:

SHERBORN VILLAGE
A
RESIDENTIAL DEVELOPMENT
IN
SHERBORN, MASSACHUSETTS

TITLE:

COVER
#59 NORTH MAIN STREET
SHERBORN, MASSACHUSETTS
OWNER/APPLICANT:
HERITAGE PROPERTIES
490-B BOSTON POST ROAD
SUDBURY, MA 01776

FILE NO.: 3438
COVER
DATE: JULY 25, 2017
PLAN NO.: 1
1 OF 7





AREAS WITHIN BUFFERS	
100'-50' BUFFER	
TOTAL BUFFER ONSITE	38,397 S.F.
PROPOSED BUILDING	5,988 S.F.
PROPOSED LAWN	10,649 S.F.
EXISTING BUILDING	1,563 S.F.
EXISTING DISTURBED	702 S.F.
PROPOSED DISTURBED	1,246 S.F.
AREA TO BE NATURALIZED	2,062 S.F.
50'-0' BUFFER	
TOTAL BUFFER ONSITE	38,704 S.F.
PROPOSED BUILDING	326 S.F.
PROPOSED LAWN	3,490 S.F.
EXISTING BUILDING	1,353 S.F.
EXISTING DISTURBED	1,686 S.F.
PROPOSED DISTURBED	657 S.F.
AREA TO BE NATURALIZED	2,626 S.F.
100 FT RIVERFRONT	55,674 S.F.
200 FT RIVERFRONT	124,040 S.F.
AREA DISTURBED WITHIN 100 FT RIVERFRONT	0 S.F.
AREA DISTURBED WITHIN 200 FT RIVERFRONT	3,550 S.F. PERMANENT

OTES:

CURRENT OWNER OF RECORD

IRITAGE PROPERTIES
0-B BOSTON POST ROAD
TE 202
OBURY, MA 01776

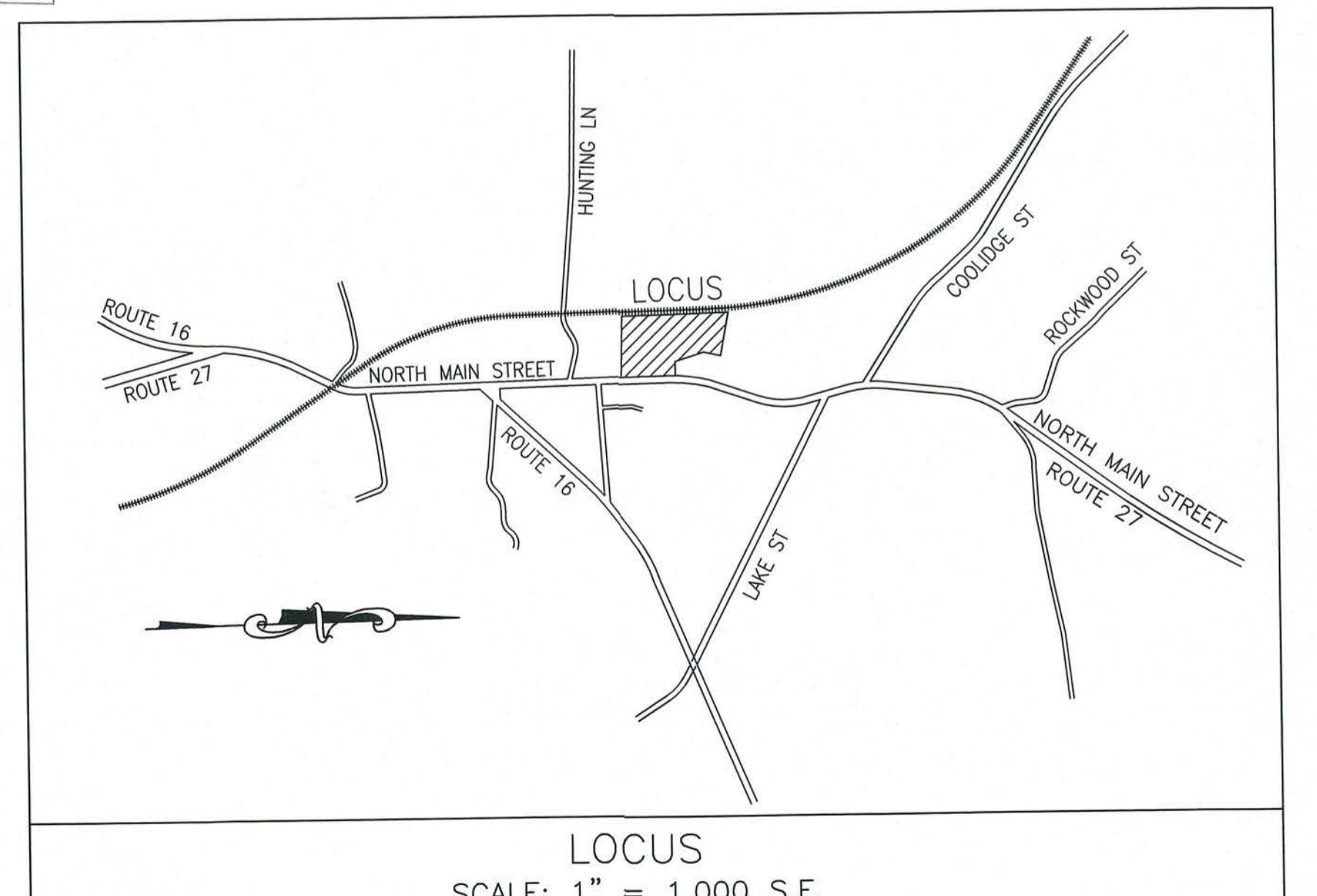
ED REFERENCE: BOOK 65811 PAGE 274

ASSESSORS REFERENCE:

AP: 10 LOT: 25

CURRENT ZONING INFORMATION
ZONING DISTRICT = RA

DIMENSIONAL REQUIREMENTS		REQUIRED	PROPOSED
AREA		43,560 S.F.	263,179 S.F.
FRONTAGE		150.0 FT.	
DEPTH		150.0 FT.	
BUILDING SETBACK:			
FRONT		60 FT.	45.3 FT
SIDE		30 FT.	17.7 FT
REAR		30 FT.	64.0 FT
HEIGHT		35' MAX., 2.5 STORY	<35' 2.5 STORY



LOCUS

SCALE: 1" = 1,000 S.F.

ALL RIGHTS RESERVED

CD, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONICALLY OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF ENGINEERING DESIGN CONSULTANTS, INC. ANY UNWRITTEN PERMISSION ENGINEERING DESIGN CONSULTANTS, INC. SHALL RENDER THEM INVALID AND UNUSABLE.

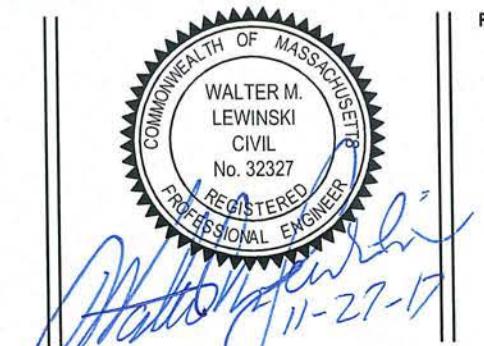
OF THIS DOCUMENT MAY BE REPRODUCED
BY MEANS OF MICROFILM, MICROFICHE,
PHOTOCOPYING, RECORDING OR OTHER
METHODS WITHOUT THE
WRITTEN PERMISSION OF THE
PUBLISHER.

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTORS EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR
THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS
THIRD PARTY COSTS.

DRWN BY: WML
CHK'D BY: PSB
APPROV'D BY: PSB

REVISIONS:		
	11/27/17	ISSUED FOR PEER REVIEW
0	7/25/17	ISSUED FOR PEER REVIEW



PREPARED BY:

Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
(508) 480-0225

PROJECT

SHERBORN VILLAGE
A
RESIDENTIAL DEVELOPMENT
IN
SHERBORN, MASSACHUSETTS

LAYOUT & MATERIALS
#59 NORTH MAIN STREET
HERBORN, MASSACHUSETTS

HERITAGE PROPERTIES
490-B BOSTON POST ROAD
SLUDSBURY, MA 01776

10: 3438
LAYOUT & MATERIALS
JULY 25, 2017
NO.: 3 OF 7
3

ALL RIGHTS RESERVED

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE WITHOUT THE PRIOR WRITTEN PERMISSION OF ENGINEERING DESIGN CONSULTANTS, INC. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF ENGINEERING DESIGN CONSULTANTS, INC. SHALL RENDER THEM INVALID AND UNUSABLE.

RING DESIGN CONSULTANTS, INC. SHALL NOT BE
ISIBLE FOR CONSTRUCTION MEANS, METHODS,
UES, OR PROCEDURES UTILIZED BY THE
CTOR, NOR FOR THE SAFETY OF PUBLIC OR
CTORS EMPLOYEES; OR FOR THE FAILURE OF THE
CTOR TO CARRY OUT THE WORK IN ACCORDANCE
E CONTRACT DOCUMENTS.

RING DESIGN CONSULTANTS, INC.'S LIABILITY FOR
AN IS LIMITED TO THE EXTENT OF ITS FEE LESS
PARTY COSTS.

PARCEL "B"
1,987± SQ FT
0.046± ACRE
NOT TO BE
CONSIDERED A
BUILDABLE LOT

NOTE:
UNDERGROUND UTILITY LOCATIONS ARE
NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION.
CALL DIGSAFE AT 811



CONSTRUCTION NOTES

- DWELLING INFILTRATION SHALL BE CULTEC RECHARGER C150XLHD, ELEVATIONS AS SHOWN ON THE DETAILS. THEY SHALL BE INTERCONNECTED WITH THE CULTEC HVLV FC-24 FEED CONNECTOR AND 8-INCH DIAMETER ADS N-12 PIPE. ROOF LEADERS SHALL BE 4-INCH ADS.
- DRIVEWAY INFILTRATION SHALL BE CULTEC RECHARGER C330XLHD, ELEVATIONS AS SHOWN ON THE DETAILS.
- SEWER PIPE SHALL BE 6" SCH-40 PVC, PRIME AND THOROUGHLY GLUE ALL PIPE FITTINGS.
- MINIMUM SLOPE OF SEWER CONNECTIONS FROM UNITS S=0.010.
- UNITS SHALL HAVE SEWER BACKFLOW PREVENTERS.
- WATER MAIN LINE SHALL BE 2" PVC
- WATER SERVICES SHALL BE 1½ TYPE K COPPER.
- SEE CONSTRUCTION NOTES AND DETAILS ON SHEET 6
- AREA "A" & "B" SHALL BE VORTSENTRY HS36 UNITS.
- SEWER PIPE CROSSING WATER LINE OR DRAIN LINE SHALL BE ENCASED IN CONCRETE WITH A MINIMUM OF 6-INCHES OF CONCRETE ALL AROUND AND 5-FEET TO EITHER SIDE OF THE UTILITY CROSSING.

NOTES:

CURRENT OWNER OF RECORD

P SHERBORN LLC
90-B BOSTON POST ROAD
SUITE 202
MUDSBURY, MA 01776

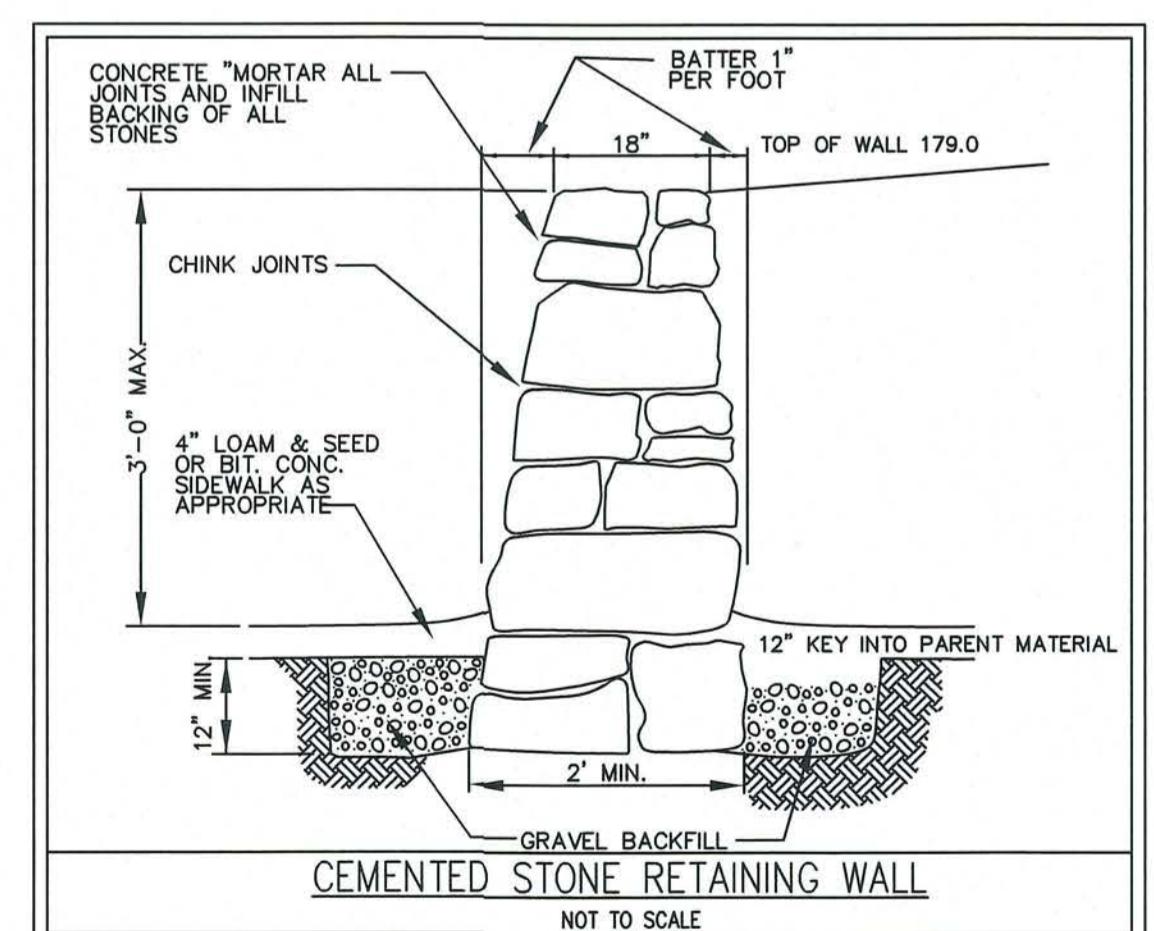
FEED REFERENCE: BOOK 65811 PAGE 274

ASSESSORS REFERENCE:

MAP: 10 LOT: 25

CURRENT ZONING INFORMATION
ZONING DISTRICT = RA

DIMENSIONAL REQUIREMENTS		REQUIRED	PROPOSED
AREA		43,560 S.F.	263,179 S.F.
FRONTAGE		150.0 FT.	
WIDTH		150.0 FT.	
BUILDING SETBACK:			
FRONT		60 FT.	45.3 FT
SIDE		30 FT.	19.3 FT
EAR		30 FT.	73.7 FT
EIGHT		35' MAX., 2.5 STORY	<35' 2.5 STORY



REVISIONS:	
0	11/27/17
0	7/25/17
	ISSUED FOR PEER REVIEW
	ISSUED FOR PEER REVIEW

WALTER M.
LEWINSKI
CIVIL
No. 32327
REGISTERED
PROFESSIONAL ENGINEER

Walter M. Lewinski
1-27-17

Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
(508) 480-0225

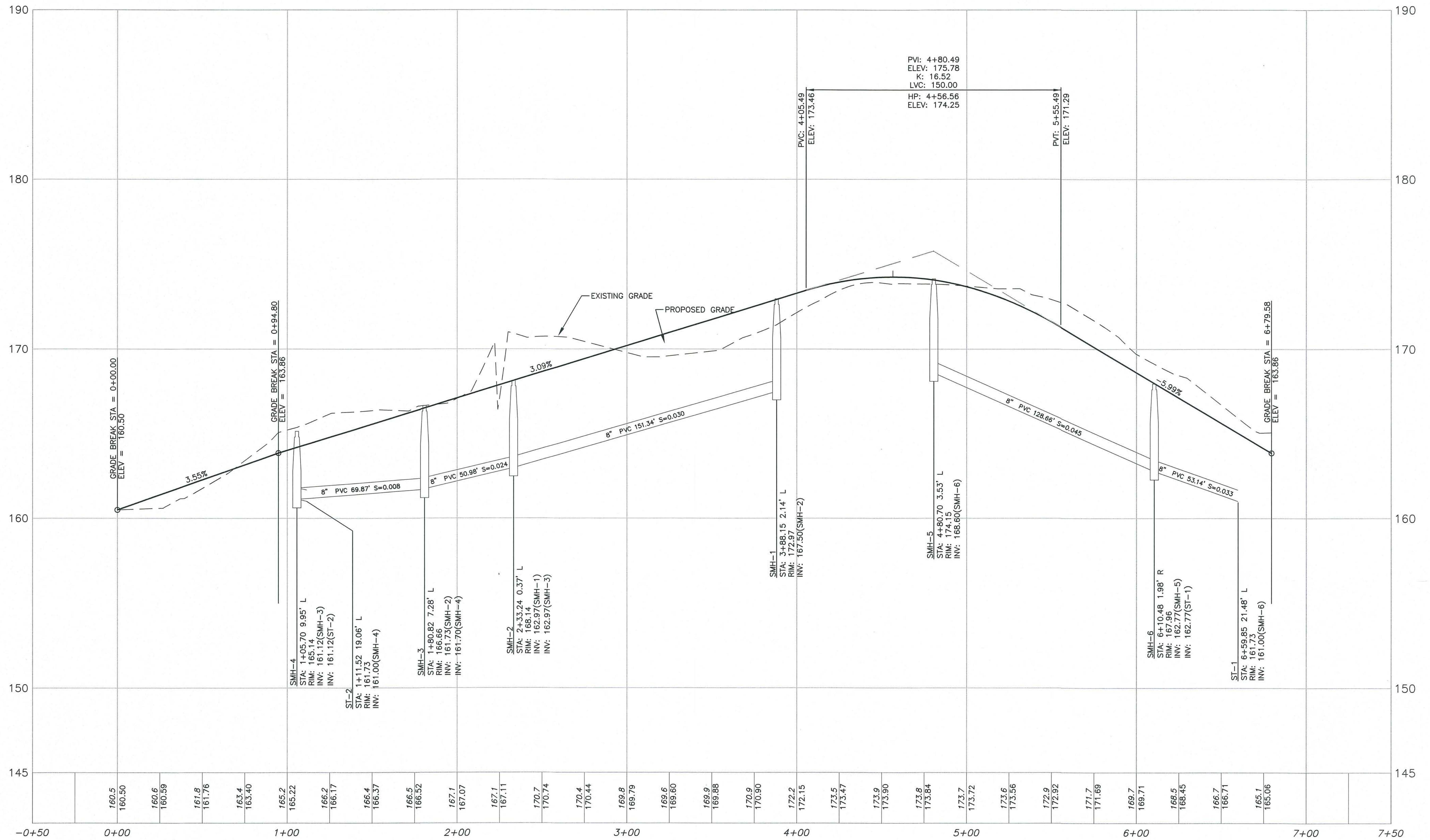
|| PROJECT:

SHERBORN VILLAGE
A
RESIDENTIAL DEVELOPMENT
IN
SHERBORN, MASSACHUSETTS

GRADING & UTILITIES
#59 NORTH MAIN STREET
SHERBORN, MASSACHUSETTS

HERITAGE PROPERTIES
490-B BOSTON POST ROAD
SUDBURY, MA 01776

RE NO.: 3438
GRADING & UTILITIES
DATE: JULY 25, 2017
PLAN NO.: 4 OF 7
4

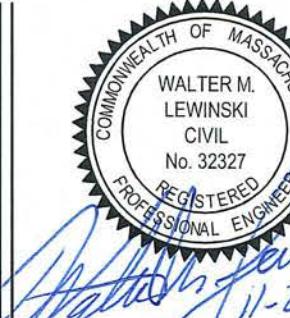


Engineering Design Consultants, Inc. shall not be responsible for construction means, methods, techniques, or procedures utilized by the contractor, nor for the safety of public or contractors' employees, or for the failure of the contractor to carry out the work in accordance with the contract documents.

Engineering Design Consultants, Inc.'s liability for this plan is limited to the extent of its fee less third party costs.

DRW BY:	WML
CHKD BY:	PSB
APRV BY:	PSB
REVISIONS:	
REV #:	0
DATE:	11/27/17
ISSUED FOR PEER REVIEW	ISSUED FOR PEER REVIEW
DESCRIPTION:	

John J. Pawlak, PE



PREPARED BY:

CE

Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
(508) 480-0225

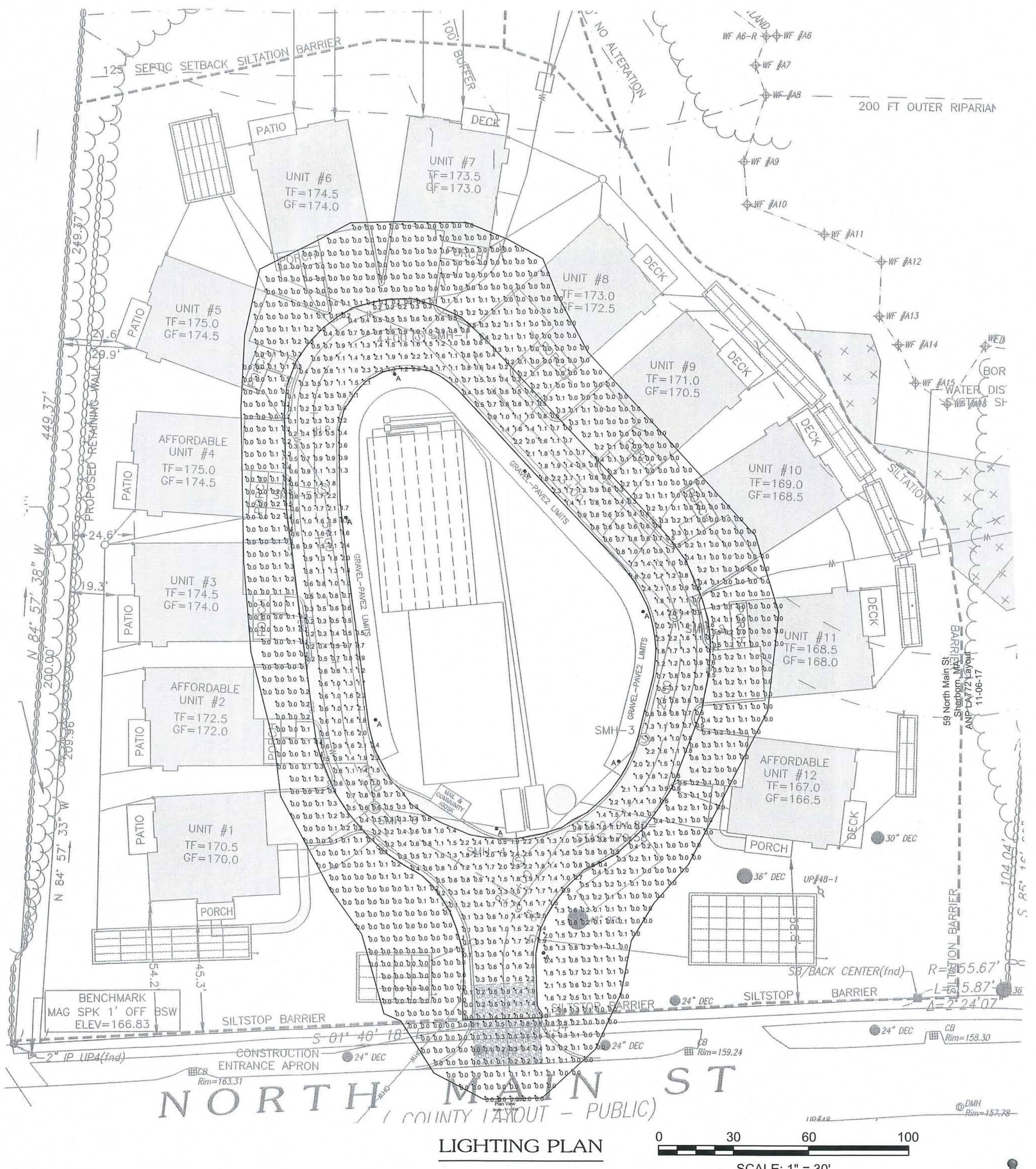
PROJECT:

SHERBORN VILLAGE
A
RESIDENTIAL DEVELOPMENT
IN
SHERBORN, MASSACHUSETTS

TITLE:

PROFILE
#59 NORTH MAIN STREET
SHERBORN, MASSACHUSETTS
HERITAGE PROPERTIES
490-B BOSTON POST ROAD
SUDSBURY, MA 01776

FILE NO: 3438
PROFILE
DATE: JULY 25, 2017
PLAN NO: 5
7



Statistics					
Description	Symbol	Avg	Max	Min	Max/Min
Roadway	+	1.0 fc	2.6 fc	0.0 fc	N/A
Roadway Spill	+	0.1 fc	2.1 fc	0.0 fc	N/A

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Filename	Lumens Per Lamp
Ⓐ	A	8	ANP LIGHTING	LA772 1 FR 46W N T35K FINISH	30" X 14" DIA. LED TRADITIONAL LUMINAIRE 3500K LEDS WITH TYPE III OPTICS AND FROSTED LENS	1	L02133101.IES	2977



LA772

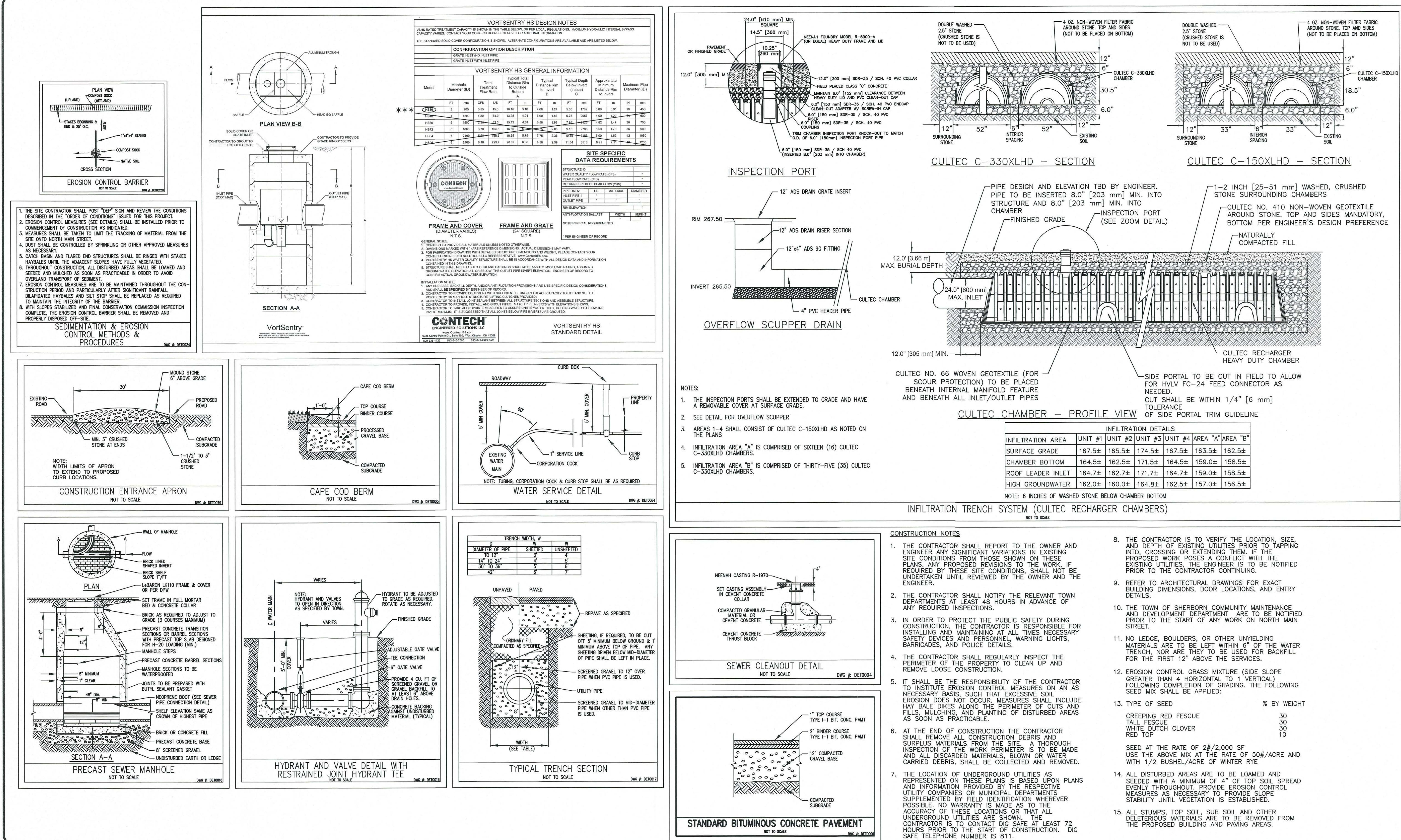
This Series of Fixtures have Classic Old World Charm with a Modern Interpretation. This Series of Fixtures have Classic Old World Charm with a Modern Interpretation. The Dome Shaped Crown has Tool-less Entry into its Hinged and Gasketed Hood for Easy Driver/Ballast Access. It is Constructed of Heavy Duty Cast Aluminum with Stainless Steel Hardware. The Hood is Not Open. Center Leads to the Modern Feel of the Fixture. This Fixture is the Smallest in the Series of Three. This Series of Fixtures have Classic Old World Charm with a Modern Interpretation. The Dome Shaped Crown has Tool-less Entry into its Hinged and Gasketed Hood for Easy Driver/Ballast Access. It is Constructed of Heavy Duty Cast Aluminum with Stainless Steel Hardware. The Three Strut Open Center Leads to the Modern Feel of the Fixture. This Fixture is the Smallest in the Series of Three.

NOTE:
UNDERGROUND UTILITY LOCATIONS ARE
NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE
CONTRACTOR TO VERIFY LOCATIONS AND
ELEVATIONS OF EXISTING UTILITIES PRIOR
TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS
HOURS IN ADVANCE OF CONSTRUCTION.
CALL DIGSAFE AT 811





Engineering Design Consultants, Inc. shall not be responsible for construction means, methods, techniques, or procedures utilized by the contractor, nor for the safety of public or contractor employees, or for the failure of the contractor to carry out the work in accordance with the contract documents.

Engineering Design Consultants, Inc.'s liability for this plan is limited to the extent of its fee less third party costs.

REVISIONS: 0 11/27/17 ISSUED FOR PEER REVIEW
WML DATE 7/25/17 ISSUED FOR PEER REVIEW
CHECK BY: PSB APPROV BY: PSB

PREPARED BY:
WALTER M. LEWINSKI, C.E.
REGISTERED PROFESSIONAL ENGINEER
Engineering Design Consultants, Inc.

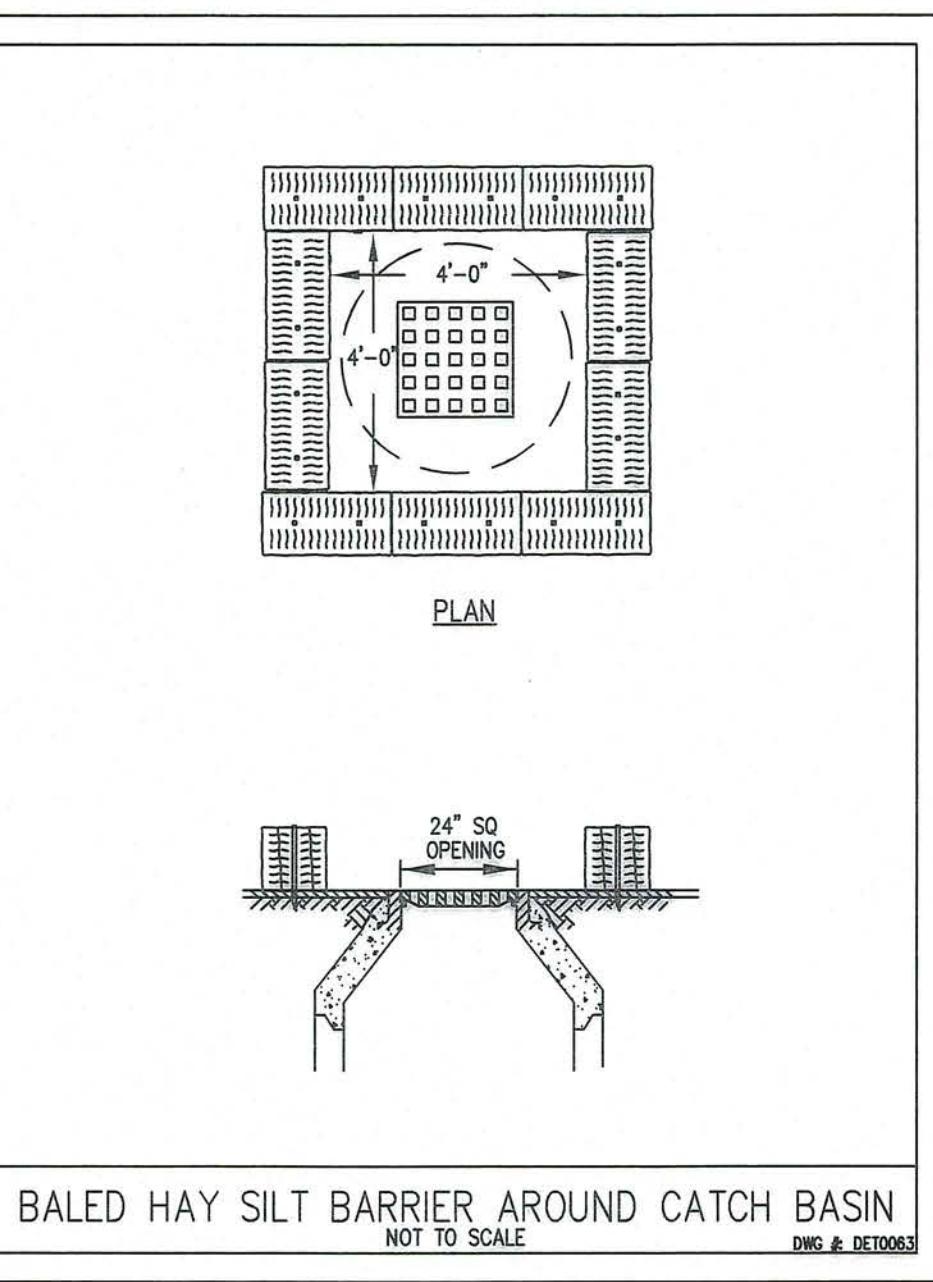
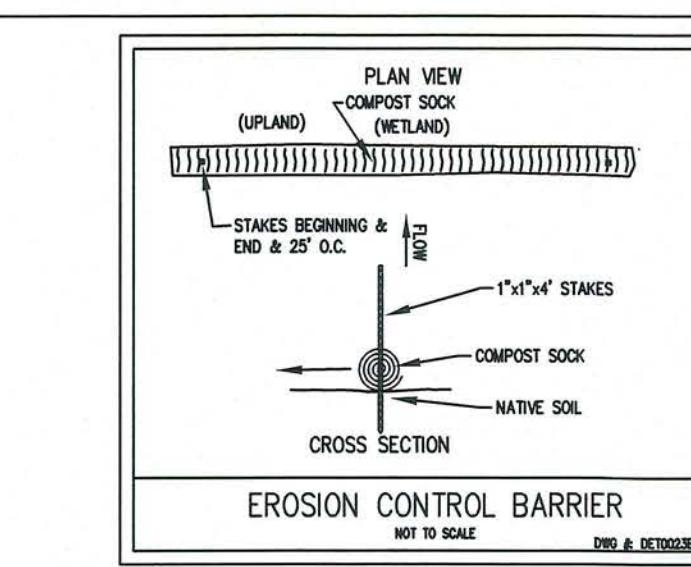
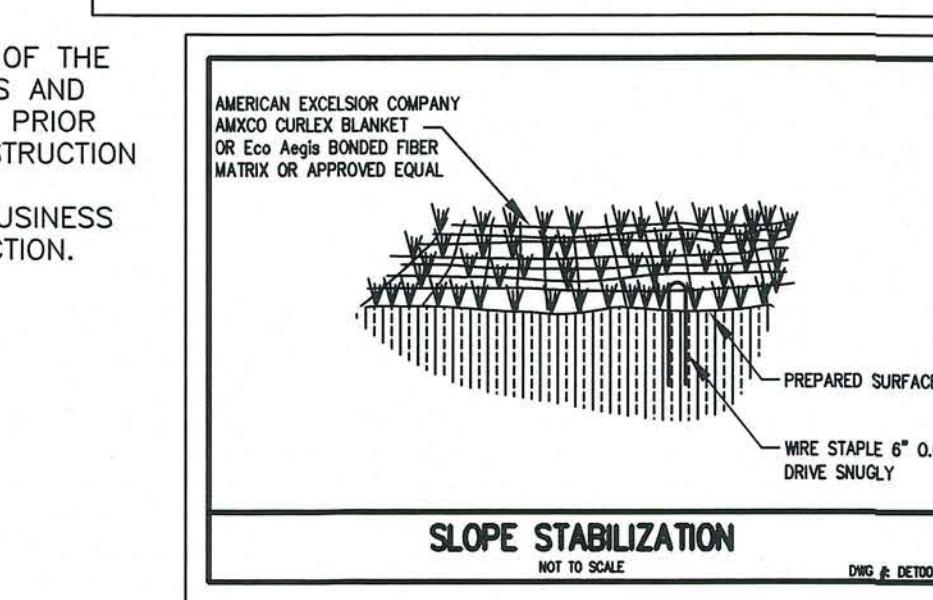
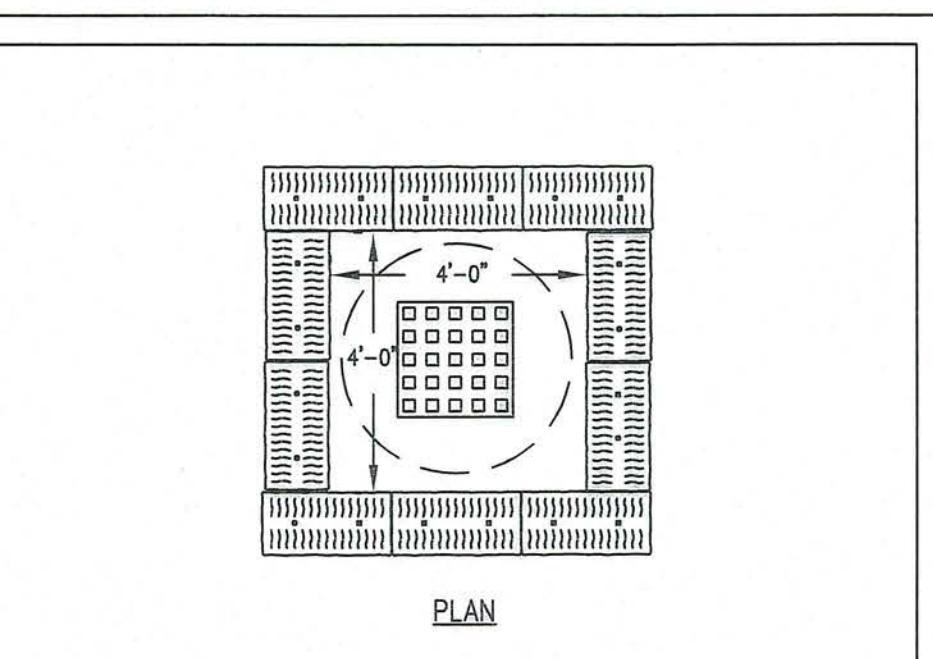
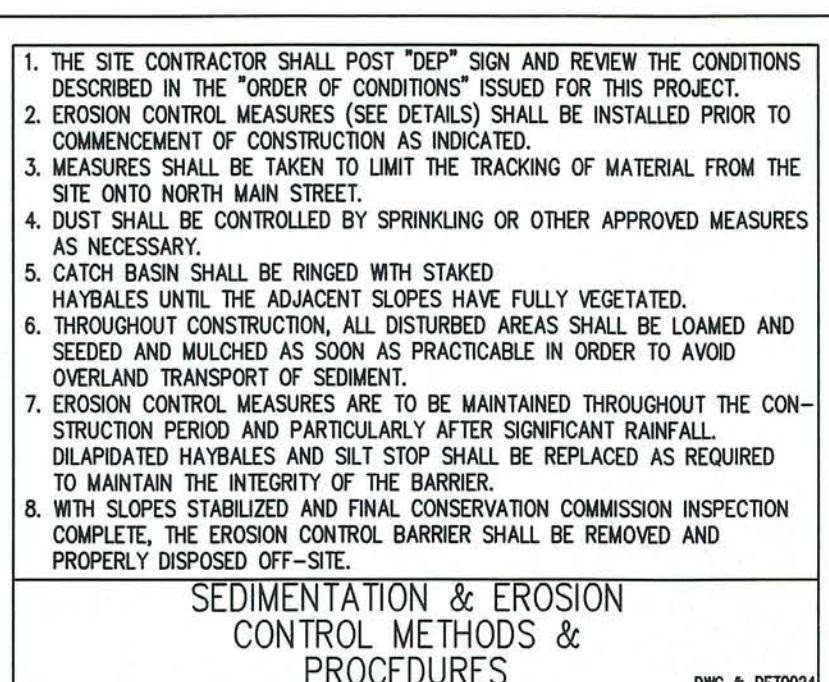
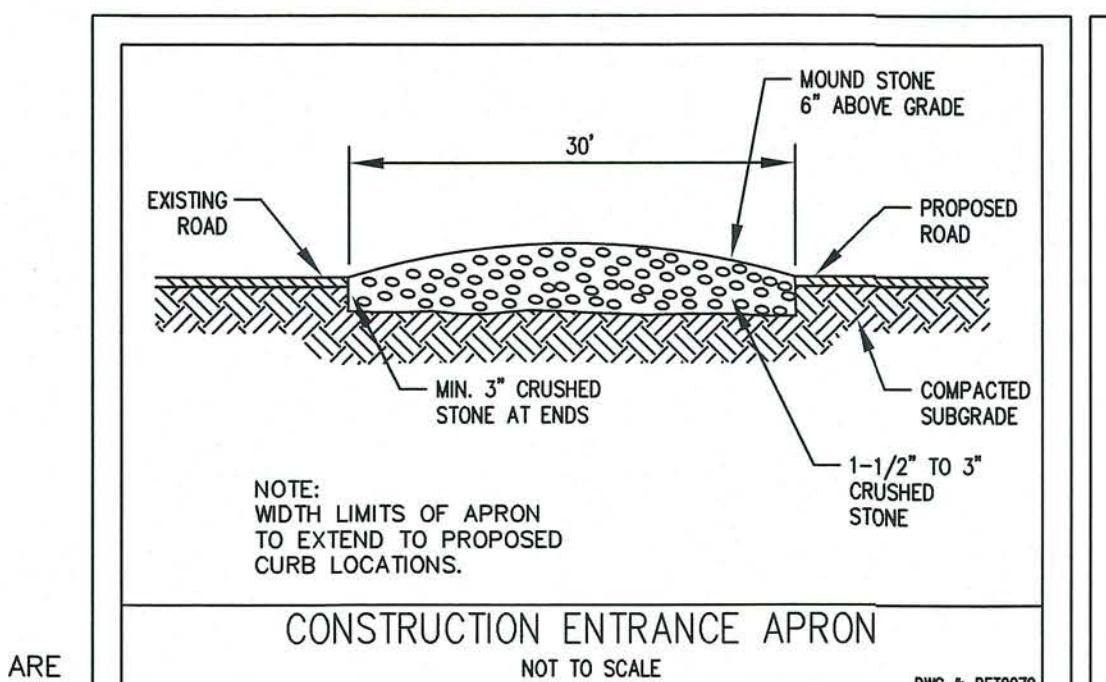
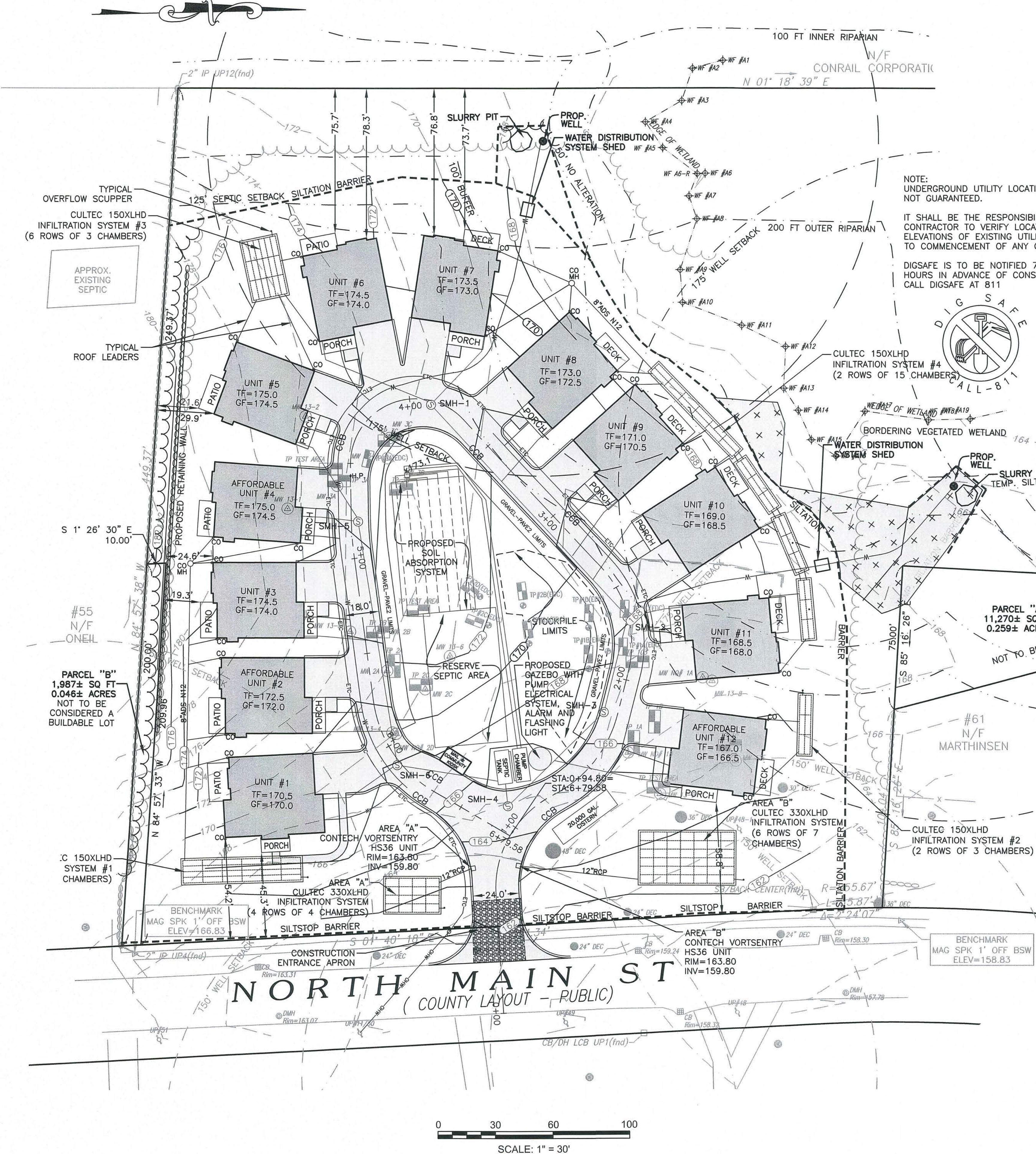
32 Turnpike Road
Southborough, Massachusetts (508) 480-0225

PROJECT:

SHERBORN VILLAGE
A
RESIDENTIAL DEVELOPMENT
IN
SHERBORN, MASSACHUSETTS

DETAILS
#59 NORTH MAIN STREET
SHERBORN, MASSACHUSETTS
HERITAGE PROPERTIES
490-B BOSTON POST ROAD
SUDSBURY, MA 01776

FILE NO: 3438
DETAILS
DATE: JULY 25, 2017
PLAN NO: 7 of 7



OPERATION AND MAINTENANCE PLAN:

MAJOR O&M TASKS AND DESCRIPTIONS OUTLINED AS FOLLOWS:

1. SCHEDULE OF SHORT-TERM OPERATION AND MAINTENANCE (DURING CONSTRUCTION):

- EROSION CONTROL BARRIER: THE EROSION CONTROL BARRIER SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL BE INSPECTED WEEKLY, PRIOR TO STORM EVENTS AND IMMEDIATELY AFTER STORM EVENTS TO ENSURE ITS INTEGRITY. PORTIONS OF THE EROSION CONTROL BARRIER SHALL BE REMEDIED AS NECESSARY TO PREVENT EROSION.
- CONSTRUCTION ENTRANCE APRON: THE CONSTRUCTION ENTRANCE APRON SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL BE INSPECTED WEEKLY. THE CONSTRUCTION ENTRANCE APRON SHALL BE REPLACED WHEN DEBRIS BECOMES NOTICEABLE ON THE EXISTING PAVEMENT SURFACES OPPOSITE THE CONSTRUCTION SIDE OF THE PROPOSED WORK.
- SLOPE STABILIZATION: THE SLOPE STABILIZATION CONTROLS SHALL BE INSTALLED IMMEDIATELY UPON OBTAINING FINAL GRADES AS SHOWN ON THE PROJECT PLANS. AREAS IN FAILURE SHALL BE RE-GRADED TO FINAL GRADE AND STABILIZED AS NECESSARY.
- CONSTRUCTION COMPLETION: THE ENTIRE STORM WATER MANAGEMENT SYSTEM SHALL BE INSPECTED UPON COMPLETION OF CONSTRUCTION. PORTIONS OF THE SYSTEM CONTAINING SEDIMENTATION SHALL BE PROPERLY CLEANED AND THE SILT REMOVED.

2. MAINTENANCE AGREEMENT/SCHEDULE FOR LONG-TERM OPERATION AND MAINTENANCE (POST CONSTRUCTION)

- OWNER OF THE STORMWATER SYSTEM: _____
OWNER'S SIGNATURE: _____ DATE: _____
- PERSON RESPONSIBLE FOR FINANCING MAINTENANCE AND EMERGENCY REPAIRS: _____
- THE ESTIMATED ANNUAL MAINTENANCE COST OF THIS STORMWATER MANAGEMENT SYSTEM IS \$5,000.

- CDS UNIT INSPECTIONS: INSPECTION IS THE KEY TO EFFECTIVE MAINTENANCE AND IS EASILY PERFORMED. POLLUTANT DEPOSITION AND TRANSPORT MAY VARY FROM YEAR TO YEAR, AND REGULAR INSPECTIONS WILL HELP INSURE THAT THE SYSTEM IS CLEANED OUT AT THE APPROPRIATE TIME. AT A MINIMUM, INSPECTIONS SHOULD BE PERFORMED TWICE PER YEAR (I.E. SPRING AND FALL) HOWEVER MORE FREQUENT INSPECTIONS MAY BE NECESSARY WHERE FREQUENT WINTER SANDING OPERATIONS MAY LEAD TO RAPID ACCUMULATIONS. THE VISUAL INSPECTION SHOULD ASCERTAIN THAT THE SYSTEM IS WORKING PROPERLY. THE INSPECTOR SHOULD ALSO IDENTIFY ACCUMULATIONS OF POLLUTANTS AND SEDIMENT IN THE SYSTEM. MEASURING POLLUTANT ACCUMULATION CAN BE DONE WITH A CALIBRATED DIPSTICK, TAPE MEASURE OR OTHER MEASURING INSTRUMENT. IT IS USEFUL AND OFTEN REQUIRED AS PART OF A PERMIT TO RECORD A RECORD OF EACH INSPECTION. (SEE THE INSPECTION AND MAINTENANCE GUIDE PROVIDED BY THE MANUFACTURER, ATTACHED TO THE DRANEAGE CALCULATIONS SUBMITTED WITH THIS PLAN)
- CLEANING OF THE CDS UNITS SHOULD BE DONE WHEN SEDIMENT ACCUMULATES AT A DEPTH OF TWO FEET WITHIN THE UNIT AND SHOULD BE DONE DURING DRY WEATHER CONDITIONS WHEN NO FLOW IS ENTERING THE SYSTEM. CLEANOUT WITH A VACUUM TRUCK IS GENERALLY THE MOST EFFECTIVE AND CONVENIENT METHOD OF EXCAVATING POLLUTANTS FROM THE SYSTEM. SIMPLY REMOVE THE MANHOLE COVERS AND REMOVE THE VACUUM HOSE INTO THE SUMP. THE SYSTEM SHOULD BE COMPLETELY DRAINED DOWN AND THE SUMP FULLY EVACUATED OF SEDIMENT. THE AREA OUTSIDE THE SCREEN SHOULD BE PUMPED OUT ALSO IF POLLUTANT BUILD-UP EXISTS IN THIS AREA.

- INfiltration Chambers: CONSTRUCTED INFILTRATION CHAMBERS ARE PROVIDED WITH INSPECTION PORTS THAT AFFORD VISUAL ACCESS TO THE CHAMBERS. PERIODIC SMALL-SCALE MAINTENANCE AT REGULAR INTERVALS TO EVALUATE AND REMOVE ACCUMULATED SEDIMENT MAY BE NECESSARY, HOWEVER WITH PROPER MAINTENANCE OF THE CDS UNITS AND MAINTAINING THE HEALTHY LAWNS AND POTENTIAL SEDIMENT TRAP IN THE CDS UNITS, THE INfiltration CHAMBERS INSPECT THE INFILTRATION CHAMBERS TWICE ANNUALLY AT THE SAME TIME AS THE CATCH BASINS AND REMOVE ANY SEDIMENT ACCUMULATIONS. IF STORMWATER IS REMAINING IN THE CHAMBERS, IT IS A SIGN THE BOTTOM IS CLOGGED. THE CHAMBERS SHOULD BE REMOVED AS WELL AS THE STONE BED, THE MATERIAL BELOW SHOULD BE SCARIFIED AND THE STONE BED AND CHAMBERS REPLACED.

- INsPECTION REPORTS: SEE #12 UNDER "CONSTRUCTION PERIOD POLLUTION PREVENTION AND EROSION AND SEDIMENTATION CONTROL PLAN" FOR REPORTS. REPORTS SHALL BE MAINTAINED FOR SUBMISSION TO THE DIRECTOR OF COMMUNITY MAINTENANCE AND DEVELOPMENT ANNUALLY FOR A PERIOD OF THREE YEARS. IF MAINTENANCE OR REPAIRS ARE NECESSARY, A DOCUMENT SHALL BE PROVIDED TO THE DIRECTOR OF COMMUNITY MAINTENANCE AND DEVELOPMENT LISTING THE COMPONENT THAT WAS MAINTAINED/REPAIRED AND WHEN THE REPAIR WAS COMPLETED.

- ILlICIT DISCHARGES: ALL ILlICIT DISCHARGES TO ANY PART OF THE STORMWATER SYSTEM ARE STRICTLY PROHIBITED. IF AN ACCIDENTAL SPILL OCCURS (OIL/AND OR CHEMICAL SPILLS, RADIATION EMERGENCIES, AND BIOLOGICAL DISCHARGES) THE NATIONAL RESPONSE CENTER MUST BE CALLED AT 1-800-424-8802.

CONSTRUCTION PERIOD POLLUTION PREVENTION AND EROSION AND SEDIMENTATION CONTROL PLAN:

- NAME OF PERSON AND ENTITY RESPONSIBLE FOR PLAN COMPLIANCE: _____
- PROJECT MANAGER OF SHERBORN VILLAGE IS THE CONTACT PERSON. CONTACT NUMBER IS _____

- CONSTRUCTION PERIOD POLLUTION PREVENTION MEASURES: AS DEFINED WITHIN.
- EROSION AND SEDIMENTATION CONTROL PLAN DRAWINGS: REFER TO PLAN VIEW FOR EROSION CONTROL MEASURE LOCATIONS.

- DETAIL DRAWINGS AND SPECIFICATIONS FOR EROSION CONTROL: REFER TO INDIVIDUAL DETAILS FOR INSTALLATION OF EROSION CONTROL MEASURES.

- VEGETATION PLANNING: THE PROPOSED CONSTRUCTION ACTIVITIES WILL BE PERFORMED WITHIN THE LIMITS OF WORK AREA (SILATION BARRIER BEING THE LIMIT OF WORK). THE FINAL PROPOSED SURFACE WILL CONSIST OF PAVING, TREES/SHRUBS/MULCH AND GRASSED AREAS REFER TO SEQUENCING BELOW.

- SITE DEVELOPMENT PLAN: REFER TO PLAN VIEW & APPROVED SITE PLANS.

- CONSTRUCTION SEQUENCING PLAN: THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE FOLLOWED:

- EROSION CONTROL PROVISIONS IN PLACE AND INSPECTED PRIOR TO ANY AND ALL CONSTRUCTION.
- EROSION CONTROL MEASURES AT EXISTING CATCH BASINS IN NORTH MAIN STREET.
- CLEAR AND GRUB WOODED AREAS, REMOVE ALL UNUSABLE MATERIAL FROM SITE.
- STRIP AND STOCKPILE TOPSOIL. PROVIDE TEMPORARY SEEDING OF STOCKPILE, PLACE SILATION BARRIER AROUND STOCKPILE AND PLACE TARP OVER THE STOCKPILE IF NECESSARY.
- ROUGH GRADE LOT AND DRIVES, REMOVE UNUSABLE MATERIAL FROM SITE.
- IF CONSTRUCTION IS INfiltration SYSTEMS, PROTECT THE INFILTRATION AREA FROM STORMWATER RUNOFF, NO SILT OR TOSOL IS TO BE DEPOSITED IN THIS AREA, THE INFILTRATION CAPACITY OF THE NATIVE SOIL MUST BE PROTECTED.
- PERFORM BINDER BASE PAVING OPERATIONS.
- CONSTRUCTION OF BUILDING UNITS.
- EROSION CONTROL MEASURES AT NEW DRAINAGE INLET UNITS.
- FIN GRADING.
- LOAM AND SEED ALL DISTURBED AREAS & LANDSCAPE.
- PERFORM FINAL PAVING OPERATIONS.
- REMOVE EROSION CONTROL PROVISIONS UPON STABILIZATION AND FINAL SITE INSPECTION.

- SEQUENCING OF EROSION AND SEDIMENTATION CONTROLS: EROSION CONTROL PROVISIONS IN PLACE AND INSPECTED PRIOR TO ANY AND ALL CONSTRUCTION.

- OPERATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS: THE CONTRACTOR/OPERATOR IS RESPONSIBLE FOR MAINTAINING A STABLE SITE. THE OPERATOR SHALL EMPLOY EROSION AND SEDIMENTATION CONTROLS TO PREVENT EROSION AND SEDIMENT RELEASES BEYOND THE SEDIMENT BARRIER. THE EROSION CONTROL MEASURES INDICATED ARE THE MINIMUM THAT SHOULD BE EMPLOYED. THE CONTRACTOR/OPERATOR SHALL EMPLOY ADDITIONAL CONTROLS AS THE ON-SITE CONSTRUCTION EXPERIENCE dictates.

- STREET SWEEPING OF NORTH MAIN STREET SHALL BE PROVIDED ONCE A WEEK UNTIL CONSTRUCTION COMPLETION.

- INSPECTION SCHEDULE:

- INSPECTIONS SHALL TAKE PLACE AT LEAST ONCE EVERY 7 CALENDAR DAYS OR WITHIN 24 HOURS OF THE END OF A STORM OF 0.25" OF RAIN OR GREATER.
- INSPECTION FREQUENCY MAY BE REDUCED TO ONCE A MONTH IF THE ENTIRE SITE IS TEMPORARILY STABILIZED OR CONSTRUCTION IS COMPLETED.
- INSPECTIONS MUST BE CONDUCTED BY A PROPERLY AUTHORIZED QUALIFIED PERSONNEL.

- INSPECTIONS SHALL INCLUDE ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION ACTIVITIES. INSPECTIONS MUST LOOK FOR EVIDENCE OF POLLUTANTS OR POTENTIAL POLLUTANTS ENTERING THE STORM WATER SYSTEM. SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE INSPECTED TO ENSURE PROPER OPERATION. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.

- Maintenance Schedule: REPORTS SUMMARIZING THE INSPECTIONS SHOULD BE KEPT AS PART OF THIS CONSTRUCTION PERIOD POLLUTION PREVENTION AND SEDIMENTATION CONTROL PLAN. AT A MINIMUM THE INSPECTION REPORTS SHALL INCLUDE:

- INSPECTION DATE:

- NAME, TITLE AND QUALIFICATIONS OF THE PERSONNEL MAKING THE INSPECTION:

- WEATHER CONDITIONS AT THE TIME OF INSPECTION AND SINCE THE PREVIOUS INSPECTION, INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT THAT OCCURRED, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL DURING EACH STORM EVENT, AND WHETHER ANY DISCHARGES HAVE OCCURRED;

- DISCHARGES THAT OCCURRED AT THE TIME OF INSPECTION;

- LOCATION OF DISCHARGES OR SEDIMENTATION FROM THE SITE;

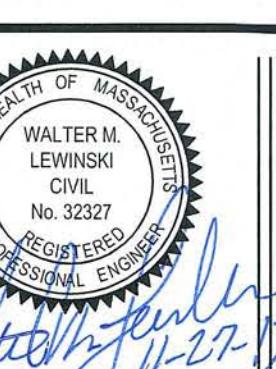
- LOCATION OF "BMPs" THAT NEED TO BE MAINTAINED;

- LOCATION OF "BMPs" THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;

- LOCATION WHERE ADDITIONAL "BMPs" ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND

- ALL REPORTS SHALL BE SUBMITTED TO THE DIRECTOR OF COMMUNITY MAINTENANCE AND DEVELOPMENT ON A MONTHLY BASIS DURING CONSTRUCTION PERIOD, AND MAINTAINED FOR THREE YEARS AFTER FINAL CONSTRUCTION PROJECT CLOSEOUT IS COMPLETE.

REVISIONS:	WML
CHKD BY:	PSB
APRD BY:	PSB
REV #:	0
DATE:	11/27/17
DESCRIPTION:	ISSUED FOR PEER REVIEW
REV #:	0
DATE:	7/25/17
DESCRIPTION:	ISSUED FOR PEER REVIEW

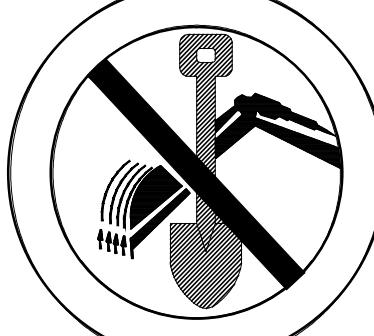


Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
(508) 480-0225

PROJECT:
SHERBORN VILLAGE
A
RESIDENTIAL DEVELOPMENT
IN
SHERBORN, MASSACHUSETTS

TITLE: STORMWATER POLLUTION PREVENTION PLAN
#59 NORTH MAIN STREET
SHERBORN, MASSACHUSETTS
OWNER/APPLICANT:
HERITAGE PROPERTIES
490-B BOSTON POST ROAD
SUDSBURY, MA 01776

FILE NO: 3438
SWPPP
DATE: JULY 25, 2017
PLAN NO: 1
1
1



Call DIGSAFE, 1-888-344-7233,
for location and marking of all
utilities prior to any excavation.
Private utilities may require
additional marking and investigation

COSMOS ASSOCIATES SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO FOLLOW THE CONTRACT DOCUMENTS IN ACCORDANCE WITH THE CONTRACT. THE CONTRACTOR IS PROVIDED WITH

CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THE EXTENT OF COSMOS ASSOCIATES LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

COPYRIGHT (C) by COSMOS ASSC

All Rights Reserved

ALL RIGHTS RESERVED
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANS

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN AN ELECTRONIC SYSTEM, OR TRANSMITTED, IN ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN PERMISSION OF COSMOS ASSOCIATES. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF COSMOS ASSOCIATES IS PROHIBITED.

OF COSMOS ASSOCIATES. ANY MODIFICATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF COSMOS ASSOCIATES SHALL RENDER IT INVALID AND UNUSABLE.

© 2013 Pearson Education, Inc. All Rights Reserved. May not be copied, scanned, or duplicated, in whole or in part. Due to electronic rights, some third party content may be suppressed from the eBook and/or eChapter(s). Editorial review has determined that any suppressed content does not materially affect the overall learning experience. Pearson Education, Inc. reserves the right to remove additional content at any time if subsequent rights restrictions require it.

PLANT LIST:

TREES - DECIDUOUS AND EVERGREEN

Qty.	Sym.	Botanical Name	Common Name	Size
5	AF	<i>Acer x freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	2 1/2 - 3" cal.
7	AR	<i>Acer rubrum</i> 'October Glory'	'October Glory' Red Maple	2 1/2 - 3" cal.
8	AS	<i>Acer saccharum</i> 'Green Mountain'	'Green Mountain' Sugar Maple	2 1/2 - 3" cal.
7	BN	<i>Betula nigra</i> 'Heritage'	'Heritage' River Birch	12-14' ht. clump
3	CF	<i>Cornus florida</i> 'Cherokee Brave'	'Cherokee Brave' Dogwood	2 - 2 1/2" cal.
3	GT	<i>Gleditsia triacanthos</i> 'Skyline'	'Skyline' Honeylocust	2 1/2 - 3" cal.
5	LS	<i>Liquidamber styraciflua</i> 'Ward'	'Ward' Cherokee Sweetgum	2 1/2 - 3" cal.
12	PA	<i>Picea abies</i>	Norway Spruce	10 - 12' height
3	PP	<i>Picea pungens</i> glauca	Colorado Blue Spruce	8 - 10' height
1	QP	<i>Quercus palustris</i>	Pin Oak	2 1/2 - 3" cal.
15	TS	<i>Thuja stan. x plicata</i> 'Green Giant'	'Green Giant' Arborvitae	8 - 10' height
<u>SHRUBS - DECIDUOUS AND EVERGREEN</u>				
12	PF	<i>Pieris floribunda</i>	Mountain Andromeda	24 - 30" height
5	RP	<i>Rhododendron</i> 'PJM'	'PJM' Rhododendron	24 - 30" height
6	SP	<i>Syringa patula</i> 'Miss Kim'	'Miss Kim' Lilac	24 - 30" height
<u>ORNAMENTAL GRASSES</u>				
6	MP	<i>Miscanthus purpurascens</i>	Maiden Grass	5 gallon pot

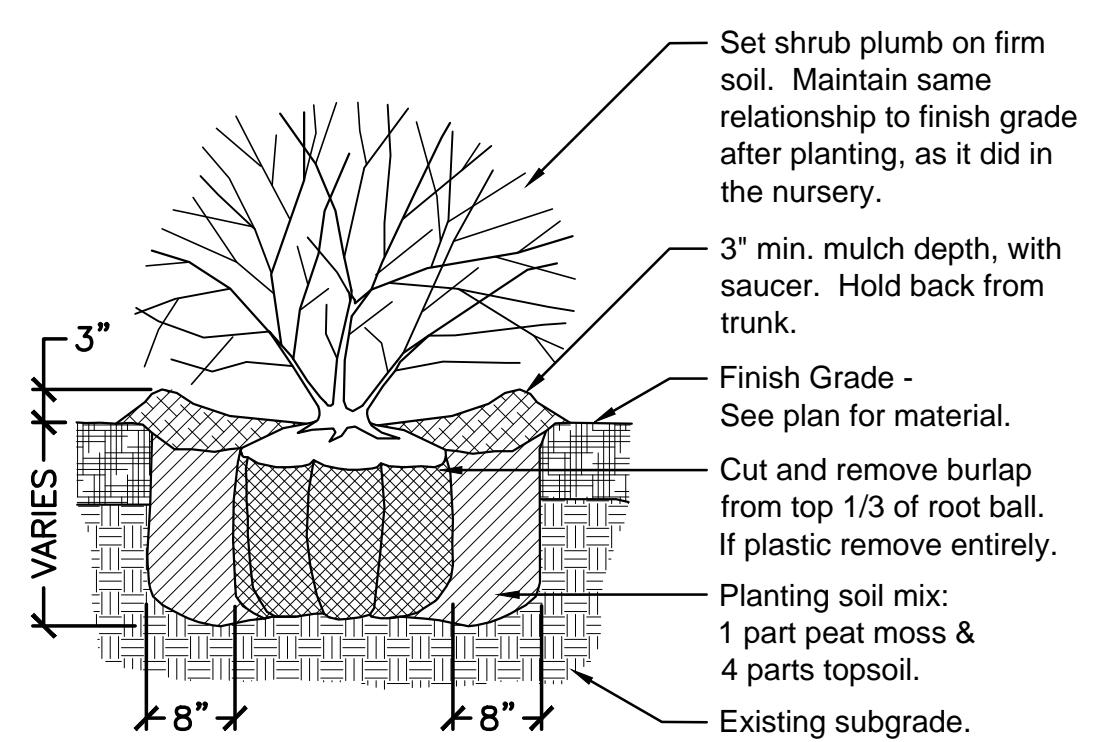
PLANTING NOTES:

1. Trees and shrubs shall be uniform, full and bushy, and well branched specimen plants. All plants to be approved by Landscape Architect.
2. Plants shall be balled and burlapped or container grown.
3. Plants to conform to the requirements established in 'American Standards For Nursery Stock', latest edition.
4. Plant beds to receive 3-inch min. depth of shredded bark mulch. Contractor to submit bark samples for approval.
5. Plants shall be guaranteed for 1-year after installation.
6. Plants to be field located and approved by the Landscape Architect.
7. Loam (5" min. depth) and seed all lawn areas and disturbed areas not noted to receive other treatment.
See Civil Plans for limit of work

1	11/7/2017	REVISED PLANTING AND PLANT LIST.	RE
REV	DATE	REVISION	B
<h1>LANDSCAPE PLAN</h1> <h2>NORTH MAIN STREET</h2> <h2>SHERBORN, MA</h2>			
<p><u>Cosmos Associates</u></p> <p>Landscape Architects & Site Planners 5 Longview Street, Natick, MA 01760 p: 508.628.3595 www.cosmosassociates.com</p>			

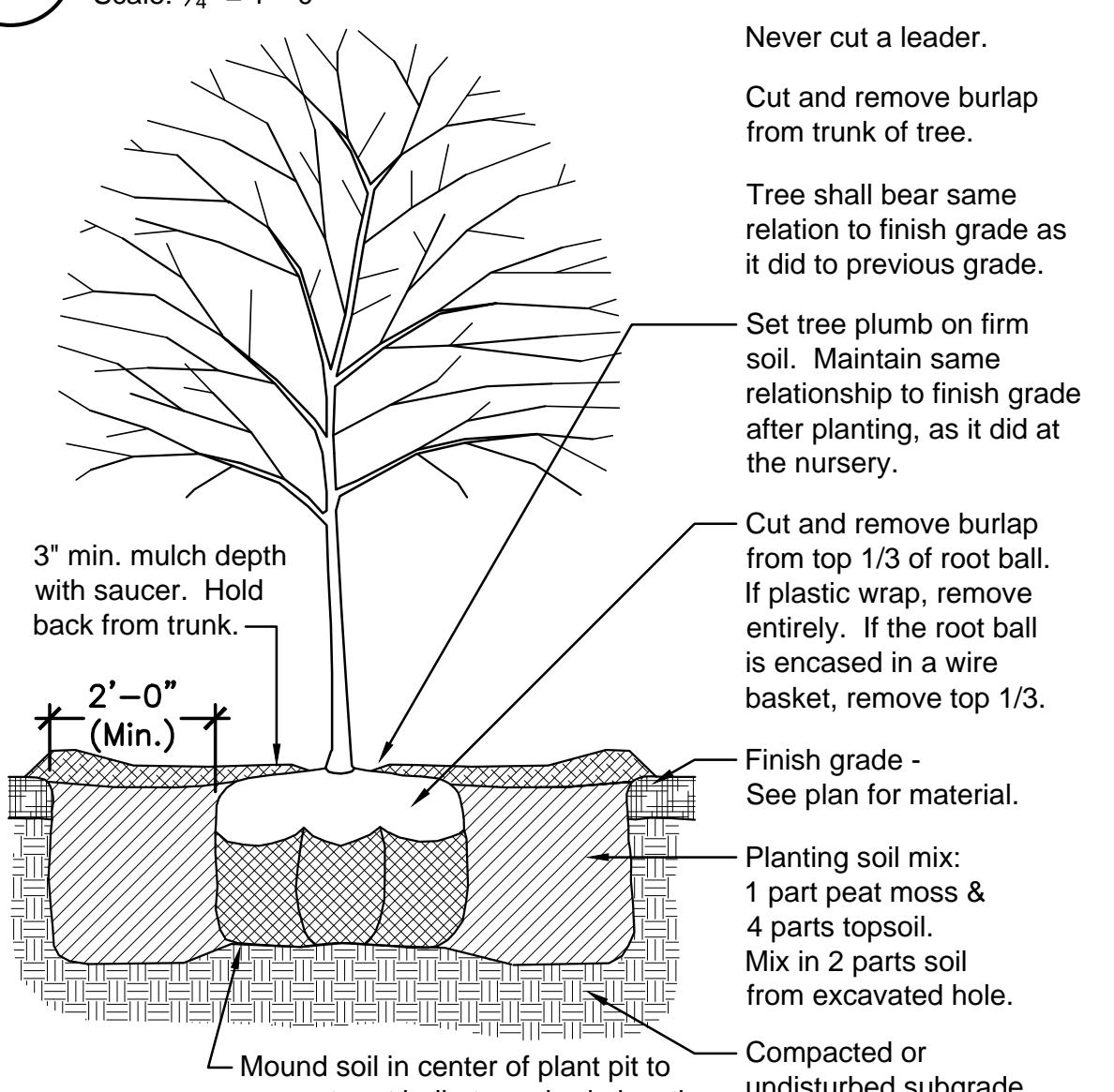
Cosmos Associates
Landscape Architects & Site Planners
5 Longview Street, Natick, MA 01760
(508) 628.3595 www.cosmosassociates.com

4



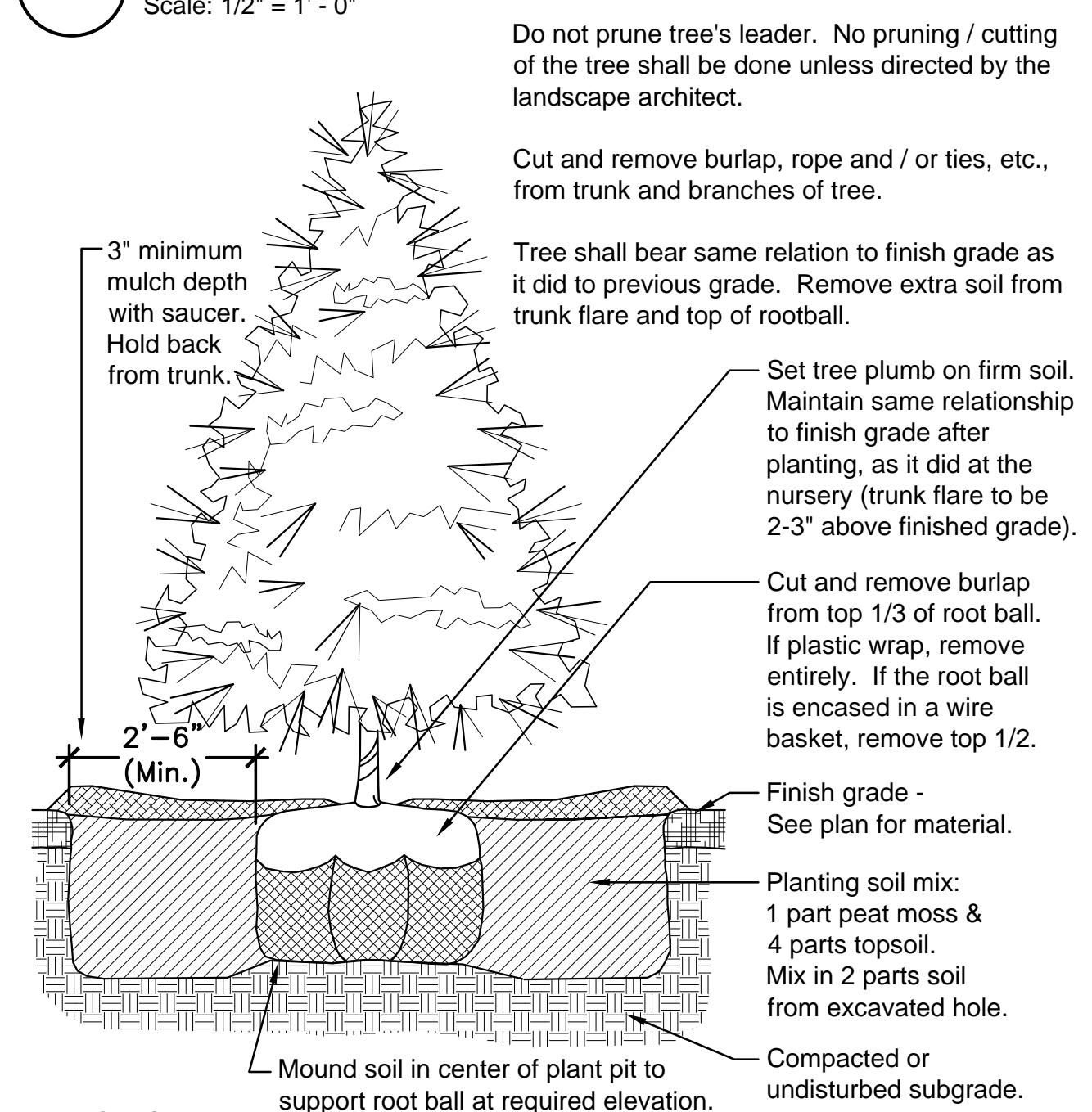
1 TYPICAL SHRUB PLANTING

Scale: $\frac{3}{4}'' = 1' - 0''$



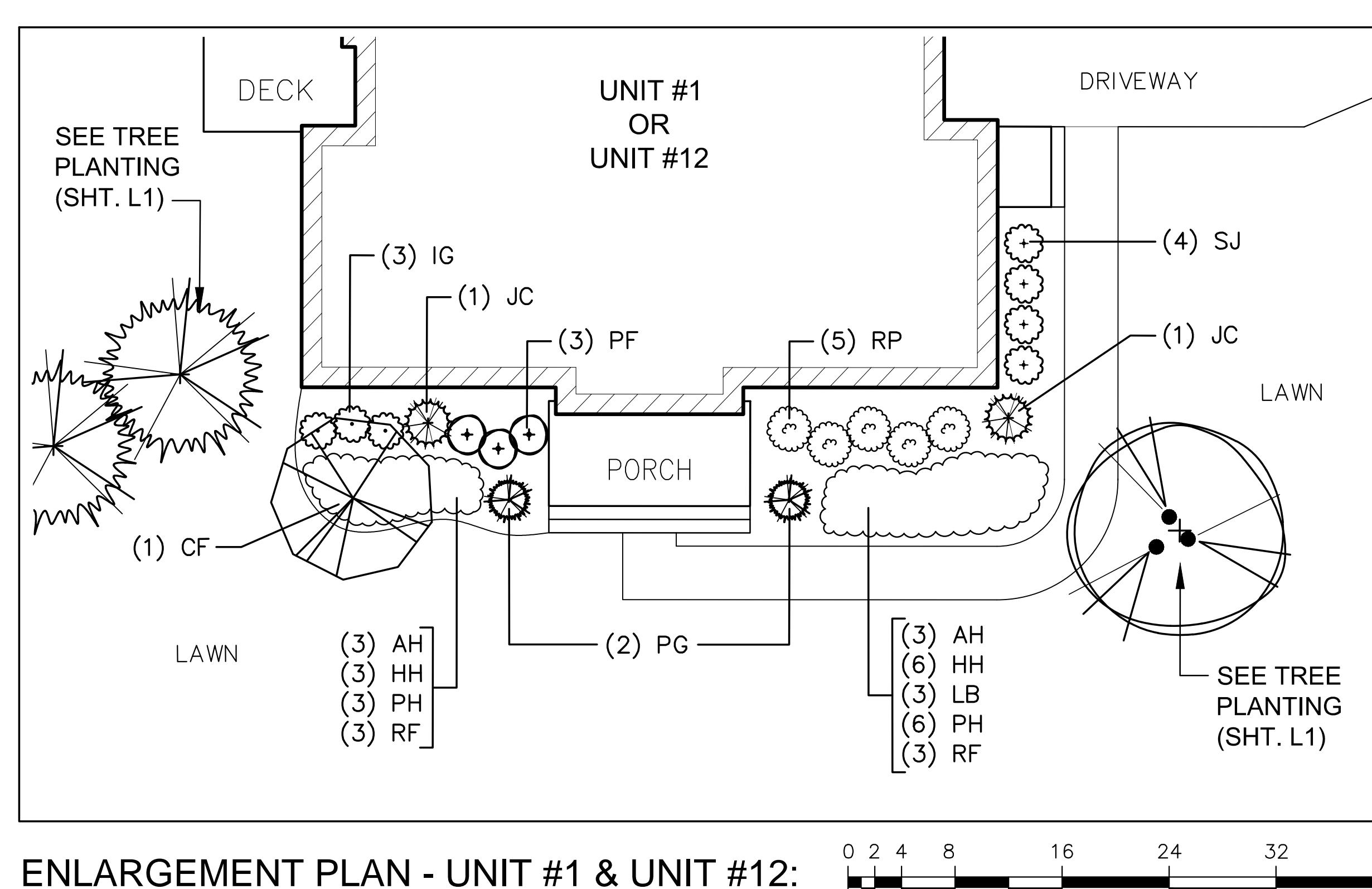
2 TYP. DECIDUOUS TREE PLANTING

Scale: $\frac{1}{2}'' = 1' - 0''$



3 TYP. EVERGREEN TREE PLANTING

Scale: $\frac{1}{2}'' = 1' - 0''$



ENLARGEMENT PLAN - UNIT #1 & UNIT #12:

PLANT LIST:

TREES AND SHRUBS - DECIDUOUS AND EVERGREEN

Qty.	Sym.	Botanical Name	Common Name	Size
2	CF	<i>Cornus florida</i> 'Cherokee Brave'	'Cherokee Brave' Dogwood	2 - 2 1/2" cal.
6	IG	<i>Ilex glabra</i> 'Shamrock'	'Shamrock' Inkberry	24 - 30" height
4	JC	<i>Juniperus chinensis</i> communis	'Gold Cone' Common Juniper	10 gallon pot
6	PF	<i>Pieris floribunda</i>	Mountain Andromeda	24 - 30" height
4	PG	<i>Picea glauca</i> 'Conica'	Dwarf Alberta Spruce	30 - 36" height
10	RP	<i>Rhododendron</i> 'PJM'	'PJM' Rhododendron	24 - 30" height
8	SJ	<i>Spirea japonica</i> 'Gold Mound'	'Gold Mound' Spirea	18 - 24" height

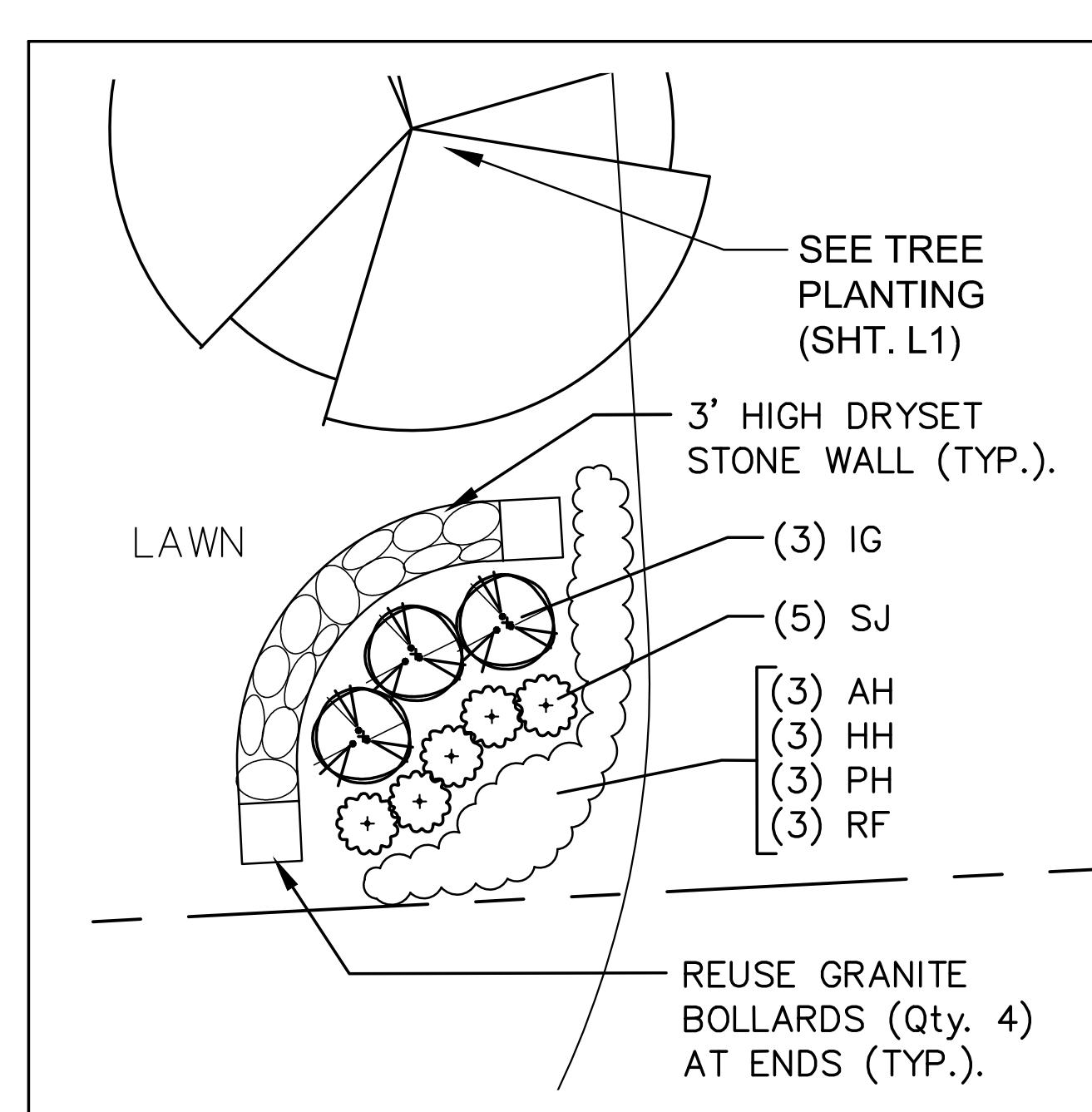
PERENNIALS AND ORNAMENTAL GRASSES				
12	AH	<i>Amsonia hubrichtii</i>	Blue Star	2 gallon pot
18	HH	<i>Hemerocallis</i> x 'Happy Returns'	'Happy Returns' Daylily	2 gallon pot
6	LB	<i>Leucanthemum</i> x <i>superbum</i> 'Becky'	'Becky' Shasta Daisy	2 gallon pot
18	PH	<i>Pennisetum alopecuroides</i> 'Hameln'	'Hameln' Dwarf Fountain Grass	2 gallon pot
12	RF	<i>Rudbeckia fulgida</i> 'Goldsturm'	'Goldsturm' Black-Eyed Susan	2 gallon pot

SCALE: $\frac{1}{8}'' = 1' - 0''$

PLANTING NOTES:

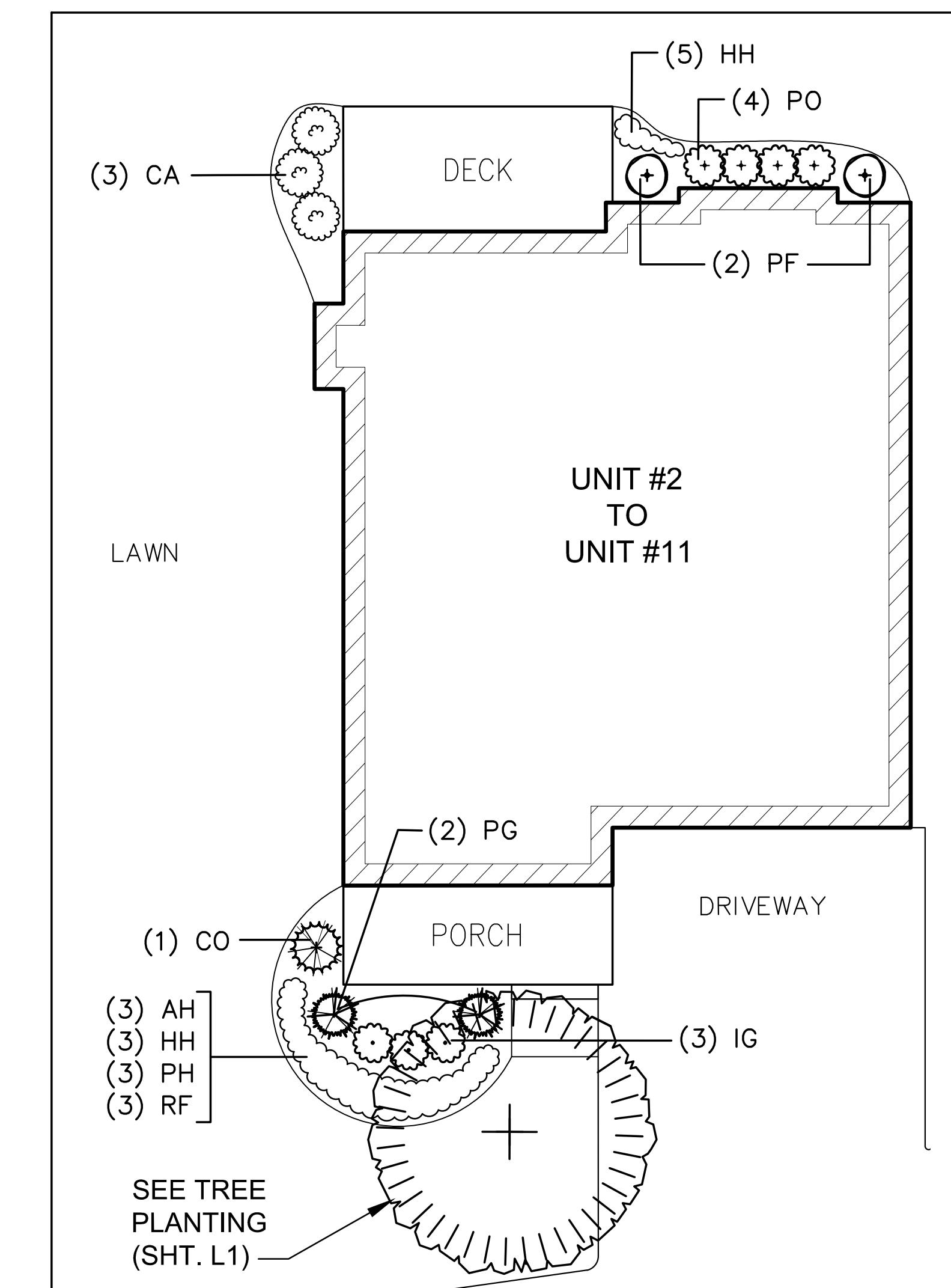
1. Trees and shrubs shall be uniform, full and bushy, and well branched specimen plants. All plants to be approved by Landscape Architect.
2. Plants shall be balled and burlapped or container grown.
3. Plants to conform to the requirements established in 'American Standards For Nursery Stock', latest edition.
4. Plant beds to receive 3-inch min. depth of shredded bark mulch. Contractor to submit bark samples for approval.
5. Plants shall be guaranteed for 1-year after installation.
6. Plants to be field located and approved by the Landscape Architect.
7. Loam (5" min. depth) and seed all lawn areas and disturbed areas not noted to receive other treatment. See Civil Plans for limit of work.

NOTE: QUANTITIES LISTED ABOVE, INCLUDE PLANTINGS AT UNITS #1 AND #12.



ENLARGEMENT PLAN - WALL AT ENTRY

SCALE: $\frac{1}{4}'' = 1' - 0''$



ENLARGEMENT PLAN - UNIT #2 TO UNIT #11:

PLANT LIST:

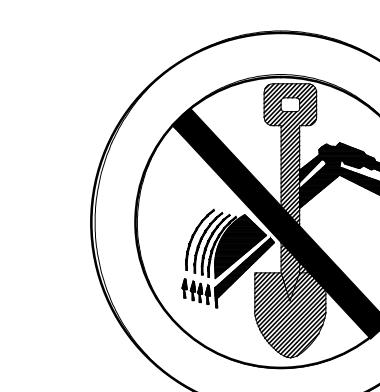
SHRUBS - DECIDUOUS AND EVERGREEN

Qty.	Sym.	Botanical Name	Common Name	Size
30	CA	<i>Clethra alnifolia</i> 'Ruby Spice'	'Ruby Spice' Summersweet	24 - 30" height
10	CO	<i>Chamaecyparis obtusa</i> 'Fernspray'	'Fernspray' Hinoki Cypress	3 - 4' height
30	IG	<i>Ilex glabra</i> 'Shamrock'	'Shamrock' Inkberry	24 - 30" height
20	PF	<i>Pieris floribunda</i>	Mountain Andromeda	24 - 30" height
20	PG	<i>Picea glauca</i> 'Conica'	Dwarf Alberta Spruce	30 - 36" height
40	PO	<i>Physocarpus opulifolius</i> 'Diabolo'	'Diabolo' Purple Ninebark	24 - 30" height

PERENNIALS AND ORNAMENTAL GRASSES				
30	AH	<i>Amsonia hubrichtii</i>	Blue Star	2 gallon pot
80	HH	<i>Hemerocallis</i> x 'Happy Returns'	'Happy Returns' Daylily	2 gallon pot
30	PH	<i>Pennisetum alopecuroides</i> 'Hameln'	'Hameln' Dwarf Fountain Grass	2 gallon pot
30	RF	<i>Rudbeckia fulgida</i> 'Goldsturm'	'Goldsturm' Black-Eyed Susan	2 gallon pot

SCALE: $\frac{1}{8}'' = 1' - 0''$

NOTE: QUANTITIES LISTED ABOVE, INCLUDE PLANTINGS AT UNITS #2 TO #11.



Call DIGSAFE, 1-888-344-7233,
 for location and marking of all
 utilities prior to any excavation.
 Private utilities may require
 additional marking and investigation.

SCALE AS SHOWN	1 11/7/2017	REVISED PLANTING AND PLANT LIST.	REC
REV	DATE	REVISION	BY
SHEET 2 OF 2			
DATE	10/3/2017		
PLAN NO.	Sherborn_Lndsg_2017-11.dwg		
DRAWN BY			
RE			
CHECKED BY			
SCC			

LANDSCAPE ENLARGEMENTS

NORTH MAIN STREET

SHERBORN, MA

Cosmos Associates

Landscape Architects & Site Planners
 5 Longview Street, Natick, MA 01760
 p: 508.628.3595 www.cosmosassociates.com

L2