

August 13, 2021

**Richard Holland**  
[rholland@k-plaw.com](mailto:rholland@k-plaw.com)

**BY FEDERAL EXPRESS**

Charles F. Ahern, III, Esq.  
Corwin & Corwin LLP  
600 Unicorn Park Drive  
Woburn, MA 01801  
[cahern@corwinlaw.com](mailto:cahern@corwinlaw.com)

Dennis O'Neill  
President  
Beacon Consulting Group  
407R Mystic Avenue, Suite 32C  
Medford, MA 02155

Bradford R. Carver, Esq.  
Watt, Tieder, Hoffar & Fitzgerald, L.L.P.  
175 Federal Street, Suite 1225  
Boston, MA 02110  
[bcarver@wattieder.com](mailto:bcarver@wattieder.com)

Stuart Jones, Esq.  
Senior Claim Counsel  
Bond & Specialty Insurance Claim  
Travelers Casualty and Surety Co. of America  
One Tower Square  
Hartford, CT 06183  
[SLJONES5@travelers.com](mailto:SLJONES5@travelers.com)

Re: Town of Sherborn – Sherborn Library Project  
December 28, 2016 Construction Contract (Five Star Building Corporation)  
June 15, 2020 Takeover Agreement (Travelers Casualty and Surety Co. of America)  
Performance Bond No. 007-SB-106605907 (Travelers Casualty and Surety Co. of America)  
Notice of Unfair/Deceptive Acts/Practices and Demand for Relief – G.L. c. 93A, § 9

Dear Messrs. Ahern, Carver, O'Neill and Jones:

This letter is notice of the Town of Sherborn's claims of unfair and deceptive acts/practices under G.L. c. 93A, § 9, against Travelers Casualty and Surety Company of America (Travelers), as surety for the Sherborn Library Project, and against Beacon Consulting Group (BCG) and Five Star Building Corp. (Five Star), the contractors hired by Travelers to complete the project, arising from the defective installation of curtain-wall windows at the Sherborn Library. This letter is also notice of the Town of Sherborn's claims against Travelers for breach of the performance bond and Takeover Agreement, breach of the implied covenant of good faith and fair dealing implied therein, and the Town's claims against BCG and Five Star for tortious interference with such bond and agreement.

As of the date of the June 15, 2020 Takeover Agreement between the Town and Travelers, the curtain-wall windows for the new library addition had not been installed. The windows, manufactured by Kawneer, were installed by Travelers through its agents, BCG and Five Star. The installation work was substantially defective, and Five Star, BCG and Travelers actively concealed the defects from the Town.

Charles F. Ahern, III, Esq.

Bradford R. Carver, Esq.

Dennis O'Neill

August 13, 2021

Page 2

In Spring 2021, after Travelers installed the curtain-wall windows, the Town had them leak-tested pursuant to the construction contract. The windows failed that test, as reflected in the April 21, 2021 report from Wiss, Janney, Elstner Associates, Inc. (WJE). Following release of the WJE report, the project architect, Beacon Architectural Associates (BAA), repeatedly requested that BCG provide additional information regarding the as-built condition of the curtain-wall windows, including as-built sketches of the window installation, repair proposal(s), and recommendations from the manufacturer of the windows, Kawneer. Travelers intentionally and repeatedly ignored, stalled responding to, and resisted these requests. Only recently has the reason for this conduct become apparent: Travelers, BCG and Five Star were actively concealing the existence and extent of the defective as-built condition of the windows. In furtherance of that effort, BCG, with Travelers' knowledge and consent, knowingly made false statements to the Town about the as-built condition of the windows.

Travelers resistance to BAA's requests for information is memorialized in a number of project records, including minutes of Owner-Architect-Contractor meetings held after release of the WJE report (nos. 182 to date), and various e-mails/letters/reports from BAA to BCG, including, but not limited to, those dated May 18, 2021 (e-mail); June 16, 2021 (e-mail); July 2, 2021 (e-mail); July 13, 2021 (letter); July 15, 2021 (e-mail); July 22, 2021 (letter); and Field Report No. 49. As it stonewalled BAA, BCG insisted that the Town re-test the windows in anticipation that the windows might, despite their defective condition, pass a re-test, in which event BCG would certainly have refused to provide the requested information and insisted that the window installation be accepted by the Town. This conduct was willful and undertaken in bad faith and with the intent to deceive the Town.

Most deceptive is Travelers' conduct regarding the installation of the so-called primary sealant at the curtain-wall windows intended to prevent water infiltration. BCG installed a non-conforming secondary sealant in front of the location of the primary sealant. This not only created a defective condition but, together with other components of the window system, concealed the location of the primary sealant from view. Initially, BCG, with the knowledge and consent of Travelers, stated that the primary sealant had been installed (behind the secondary sealant). This statement was false, and BCG, Five Star and Travelers knew it was false when it was made. After the Town repeatedly directed that the secondary sealant and certain components of the window system be removed so that it may observe the as-built condition of the windows, including whether the primary sealant had been installed—a directive Travelers and BCG mightily resisted, as reflected in the documents cited above—BCG stated, with the knowledge and consent of Travelers, that the primary sealant had been damaged in the process of removing the secondary sealant. This statement was also false, and BCG, Five Star and Travelers knew it was false when it was made. These false statements were made with the intent to deceive the Town about the defective condition of the windows.

Charles F. Ahern, III, Esq.  
Bradford R. Carver, Esq.  
Dennis O'Neill  
August 13, 2021  
Page 3

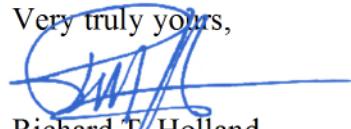
After a fashion, BCG removed the secondary sealant and certain other window components. It was then observed that the primary sealant had never been installed, which Travelers, BCG and Five Star knew, but concealed from the Town, since the date the windows were installed by Travelers. (See Architect's Field Report No. 49, a copy of which is enclosed with this letter.) Travelers, BCG and Five Star actively concealed the defective as-built condition of the curtain-wall windows for months.

The foregoing conduct—defective installation work and willful concealment of such defective work—constitutes a breach of the performance bond and Takeover Agreement and breach of the implied covenant of good faith and fair dealing implied therein (Travelers); an unfair and deceptive act/practice under G.L. c. 176D/93A (Travelers, Five Star and BCG), and tortious interference with contractual relations (BCG and Five Star). It is the Town's position that such conduct was willful.

This letter is the Town's 30-day notice and demand for relief under G.L. c. 93A, § 9.

The Town demands that the defective curtain-wall window installation be corrected at no cost to the Town, and that Travelers, BCG and Five Star pay all damages, costs and fees incurred by the Town in connection with the defective installation of the curtain-wall windows, including without limitation all legal, design and project management fees incurred by the Town in connection with the defective work. Be advised that the Town shall seek treble damages pursuant to G.L. c. 93A. Notwithstanding the foregoing, the Town shall charge to Travelers, and/or deduct from amounts payable to Travelers under the Takeover Agreement, all such damages, costs, expenses, and fees.

Further notwithstanding the foregoing, nothing said in or omitted from this letter, or in any communication by any representative or agent of the Town relating to the project, is a waiver of any rights, remedies or defenses of the Town, including without limitation those invoked in this letter, all of which are reserved.

Very truly yours,  
  
Richard T. Holland

RTH/man

cc: Town Administrator (by electronic mail)  
Assistant Town Administrator (by electronic mail)  
Select Board (by electronic mail)

775501/26907/0004

## ARCHITECT'S FIELD REPORT

|  |   |
|--|---|
| <b>PROJECT:</b> SHERBORN LIBRARY Renovations & Addition  | <b>FIELD REPORT NO:</b> 49  |
| <b>CONTRACTOR:</b> Beacon Consulting Group   | <b>ARCHITECT'S PROJECT NO:</b> 20-784   |
| <b>DATE, TIME:</b><br>August 3, 2021 - 11:00 am<br>August 4, 2021 - 2:00 pm  | <b>WEATHER (include temperature range):</b><br>Sunny/Partly Cloudy - 75 F<br>Sun/ Overcast - 72 F   |
| <b>EST. % OF COMPLETION:</b><br>95%  | <b>CONFORMANCE WITH SCHEDULE (+ / -):</b><br>N/A  |
| <b>WORK IN PROGRESS:</b><br>N/A  | <b>PRESENT AT SITE August 3, 2021:</b><br>Marcus Lehner (BCG)<br>Matt Rex, Dave Goodsell, Kevin (FSBC)<br>Representative from DeBrino<br>Rich Ryan (BAA)<br><b>PRESENT AT SITE August 4, 2021:</b><br>Mark Brown, Sherborn (LBC)<br>Peter Byerly, Rich Ryan (BAA) |
| <b>DISTRIBUTION:</b><br>Attendees:<br>Marcus Lehner, Jim Bruno, John Richmond, (BCG)<br>Elizabeth Johnston, Mark Brown, Richard Littlefield, Jim Kolb, Mary O'Moore (LBC)<br>Sean Killeen, Town of Sherborn CMD<br>Chris Canney, Town of Sherborn Building Commissioner<br>Michael McNulty, (CHA)<br>Danielle Spicer, Peter Richardson, Jim Thorne (GIA)<br>Jim Balmer (BBC)<br>Kevin Price, Michael Wright, Cody Bowers, Dan Wall (NV5)<br>Rich Ryan, Peter Byerly (BAA)  |   |
| <b>OBSERVATIONS:</b><br>BAA visited the project site on Tuesday 8/3/2021 per BCG's 8/2/2021 email request to review caulking work at the 1-line curtainwall window headers as continued corrective work required by BCG prior to re-testing.<br>1) Per the BCG/BAA 7/29/2021 emails (attached), exterior secondary sealant at all 1-Line curtainwall window heads was to be removed. This task was not completed by BCG. While the sealant and snap on cover head at the First-Floor curtainwall window between column lines F-G was removed, the sealant and snap on cover heads at the First Floor CW Bay H-J and K-L were <b>NOT</b> removed; and the snap on cover at the head of the Ground-Floor curtainwall window bay K-L was also <b>NOT</b> removed. (Note: All snap on covers - @ sill, jambs, head - to be removed by BCG at one time for verification of primary seal at Ground Floor curtainwall window bay K-L.) <ul style="list-style-type: none"><li>BCG/Debrino/FSBC reported that the primary/back sealant is missing and was <b>NOT</b> previously installed (per removal of the F-G CW bay head snap on cover). As BCG previously stated, the correct layer of primary sealant is expected to also be missing at the heads of the H-J and K-L First Floor 1-Line window bays.</li><li>BCG/Debrino/FSBC stated that the primary sealant could not be installed at the First Floor F-G CW bay head because the joint is too small for the installation of a new backer rod &amp; sealant. The existing joint reduces from +/- 1/4" @ north jamb side down to 0" @ south jamb side where the cedar board of the horizontal soffit is at the top of the aluminum curtainwall frame.</li></ul> |   |

- BCG/Debrino/FSBC determined that the snap on cover could not be removed to install the primary sealant at First Floor CW Bay H-J and K-L because the joint does not exist at these heads for the proper installation of a backer rod & sealant.
  - The cedar board of the horizontal soffit butts to the top face of the aluminum curtainwall frame @ the north side jamb of CW Bay H-J and the cedar board butts +/- 1/4" below the top of the aluminum curtainwall frame at the south side jamb.
  - The cedar board of the horizontal soffit butts +/- 1/8" below the top of the aluminum curtainwall frame at the north side jamb and butts +/- 3/8" below the top of the aluminum curtainwall frame at the south side jamb.
- BCG/FSBC confirmed the curtainwall window openings are built to the GC's requested "HOLD TO DIMENSIONS" per the approved shop drawings.
- BCG/FSBC noted the perimeter primary sealant / reveal required at the head is 3/8" (+/- 1/8"). BCG to confirm/clarify.
- BAA reviewed with BCG/Debrino/FSBC ASK-108-BR1 & ASK-108-DR1 dated 6/15/2021 for the typical curtainwall head configuration detail along the 1-Line horizontal cedar board soffit, indicating the head joint with continuous perimeter backer rod & primary sealant to be installed. As reviewed and observed, the curtainwall head assemblies and soffit layouts/configurations do not conform to the design documents. See ASK-108-BR1 & ASK-108-DR1 dated 6/15/2021.

2) Observed remedial work at the primary sealant joint at Alum CW Bay F-G and K-L along the 6.9-Line per the removal of the head snap on cover and secondary sealant.

- Observe cut underside of exterior finish cedar board at bulkhead does not appear to have been finished/stained. BCG to seal/stain all cut cedar as specified, see also BCG/BAA 7/29/2021 emails regarding "Window Header".
- Proper installation and adhesion of the head backer rod and sealant to suitable surfaces (with no gaps) at the head primary sealant joint shall be confirmed/clarified by BCG @ the underside of the added bulkheads along 6.9-Line. Verify cedar/wood rough ends and/or cut ends; verify if gaps at shims for backer rod/sealant adhesion/support. See *Observations #3 (below)*.

3) BCG/FSBC confirmed for BAA, non-conforming bulkhead framing condition at 6.9-Line above curtainwall window openings. (Note: This bulkhead was added by the GC and does not conform to the detail 1/A405 of the contract documents.)

- Metal Stud framing
- 3/4" Plywood
- AVB
- 3/4" Wood Furring
- 11/16" Cedar Board
- 1/4" Wood Shim
- 11/16" Cedar Board

4) Observed face of cedar board @ 6.9-Line Bulkhead

- Aluminum CW Bay F-G @ 6.9-Line: cedar board set back +/- 1/8" from face of aluminum curtainwall.
- Aluminum CW Bay K-L @ 6.9-Line: cedar board aligns with face of aluminum curtainwall.
- Aluminum Storefronts @ 6.9-Line: cedar board & 1/4" shims not added above storefronts? BCG to add cedar board finish as required to align w/face of aluminum storefronts.

5) BCG to remove sealant residue that remains on the cedar boards, esp. the residue/stains on the pier cedar boards at the jamb sides of the curtainwalls between column lines F-G & K-L along 6.9-Line. BCG to finish sanding remaining areas and provide a stain mock-up for BAA's on-site review. See also BCG/BAA 7/29/2021 emails attached.

**INFORMATION / ACTION REQUIRED:****New Items:**

- 1) BAA to provide existing/as-built drawings of built head conditions at (5) curtainwall head assembly and associated soffit and/or bulkhead layouts/configurations for confirmation by the GC/Subcontractors.
- 2) BAA to provide remedial curtainwall head details and program for corrective work required at (5) curtainwall head assembly and associated soffit and/or bulkhead layouts/configurations for review with the GC/Subcontractors for compliance.
- 3) BCG to schedule remedial work required per *Information / Action Required, New Items #2 (above)*.
- 4) BCG to inform BAA/Town as to when remedial work is completed to allow for BAA/Town inspection of corrected items as noted in *Information / Action Required, New Items #3 (above)* prior to the Town's re-scheduling of the window system air/water test.
- 5) BCG to add cedar board finish as required to align w/face of aluminum storefront at non-conforming bulkheads located above 6.9-Line storefronts. Remove/replace backer rod & sealant @ storefront heads as required.
- 6) Snap on covers @ sill, jambs, head to be removed by BCG for verification of primary seal at Ground Floor curtainwall window masonry bay between column lines K-L. BCG to inform BAA/Town to schedule review.
- 7) BCG to seal/stain all cut cedar as specified, see also BCG/BAA 7/29/2021 emails regarding "Window Header".
- 8) BCG to finish sanding remaining areas to remove sealant residue on cedar boards. BCG to provide a stain mock-up @ 6.9-Line CW Bay jamb for BAA on-site review.

**Old Items:**

1. **BCG to provide remedial program for the correct sealant installation for review.**
2. **GC is to verify if edge sealant at corrected copper flashing was installed as per FR -46. See item 1 under stage 2 page from FR-46 below:**
3. **Reviewed wood siding installation. There are two boards that need to be replaced, (1) on 7.5 line and (1) on D line - (see photos). Also seal up gap on 4.5 line between masonry and wood ceiling under Nora's treehouse. (See photo).**
4. Roofing installation is ongoing. Manufacturer (Sarnafil) is providing periodic reports on progress. Membrane roofing tie-ins at tile roofing and at soffits and perimeters will be finished at a later date. **ONGOING**
5. Design Team to review proposed HVAC return air configuration in Nora's Treehouse. **ONGOING**
6. GC will keep daily photo documentation of all applied construction materials as they are applied. These will be available to Owner/Architect for review. For the membrane installation, GC will engage a field representative as per specifications: **ONGOING**
7. Waterproofing Membranes - section 071326 section 3.6 B- Manufacturer's Field Service: Engage a site representative qualified by waterproofing membrane manufacturer to inspect substrate conditions, surface preparation, membrane application, flashings, protection, and drainage components; and to furnish daily reports to Architect. **ONGOING**
8. Architect requested that GC outline the finish grade line on the perimeter sidewalls. **ONGOING**
9. Thompson and Lichtner to submit report of roof moisture and basis for analysis for review.
10. FSBC to submit description of levelling procedure for setting UG vault on present concrete pad to engineers for review.
11. FSBC to submit schedule and sequence of installation for underground tanks and vault.
12. FSBC to coordinate items with east side millwork cabinets @ Crafts #113 as previously identified.
13. Relocate copper piping installed along floor to be routed within stud wall. There is no bottom at the end cabinets for the storage of roll-in fold up tables. The base is attached to the cabinet door.
14. Coordinate items at east side soffit per RFI-161 Response.
15. FSBC to verify & coord plumbing scope @ D-9 downspout.
16. FSBC to replace rotted wood at head of aluminum frame above door 102-4. **Ongoing**

17. FSBC to coordinate retaining wall comments with the site stone mason per the 9/28/18 on-site review. **Ongoing**

18. FSBC to coordinate west side retaining wall perf pipe elevation & connection into existing drain line per the 9/28/18 on-site review. **Ongoing**

19. Duct curbs to be flashed at sarnafil roofing penetrations. Installed curb fasteners are to be removed and replaced with non-corrosive fasteners prior to roof flashing work. **HVAC to complete flashing**

20. Sarnafil membrane turned up from 2nd floor connector onto elevator shaft wall is to be corrected for watertight seal/attachment. Water infiltration at interior of elevator shaft wall below has been observed. FSBC to verify and report on extents of wet/damaged rigid insulation for potential roof system repair work. **Connector Roof moisture test reports to be issued per 2/5/19 samples taken.**

21. FSBC/subcontractor to re-pipe sprinkler line in Director's office to run in cavity above ceiling and have sprinkler head poke down through existing plaster ceiling as necessary. **Ongoing.**

22. BAA/FSBC to verify fire sealing of installed conduit through electric room 2-hour rated partition. **Ongoing.**

23. Plywood sheathing in Nora's treehouse to be remedied. **Ongoing.**

24. Compromised GWB in wet areas to be identified and replaced. Proper temporary water-resistant protection to be installed as noted above. **Ongoing.**

25. Investigate and identify sources of water leaks along 6.9 line, A line and B line. **Ongoing**

26. A line and B line water infiltration issues **Ongoing**

27. Contractor must employ cold weather protection techniques, tenting or heated roller for installation when installing waterproofing.

28. FSBC to complete firesafing.

29. FSBC to provide Field verification sketches of dunnage and areaway to be produced and redesign sketches to be issued.

30. FSBC to verify extent of bulge along 7.5 line and alignment/condition of brick with cedar above for review.

31. Brick overhangs the concrete foundation wall brick shelf. Temp 2x installed to support base of brick. To correct, 2x will need to be replaced with galv steel angle for support of brick.

32. Brick is installed out of plumb. Concrete foundation wall bulges out and it appears the brick has been installed to follow. Corbel course extended from the field brick face decreases along the wall into the bulge.

33. The cedar siding/band to be installed above the brick is to be in the same plane as the outside face of the brick below. Verification of this alignment and that the 'bulge' in the foundation/brick will not be visible from above the site retaining wall required. The intent is for the cedar siding/band to be in the same plane as the outside face of the brick below.

34. FSBC to relocate upper soffit line at east side of children's room to match opposite side.

35. Implement the following items in the enclosed sketches:

**36. Measuring parameters**

**37. Light hanging detail**

**38. Roof flashing detail**

39. FSBC to supply routing for sprinkler

Report by:



**BEACON ARCHITECTURAL ASSOCIATES**

Richard E Ryan, MCPPO, Senior Associate

## PHOTOS



Line 1 CW F-G: cover/sealant removed



Line 1 CW H-J & K-L: covers/sealant NOT removed @ heads



Line 1 CW F-G: (+/-)1/4" max exist joint

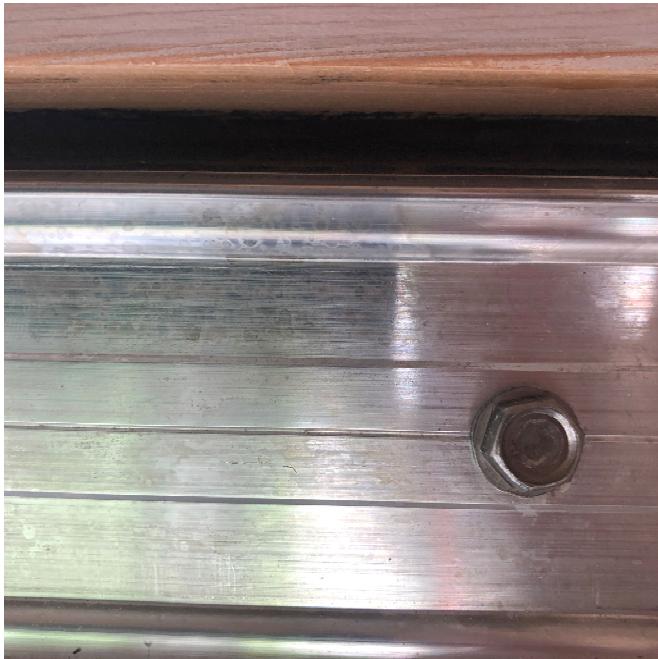


Line 1 CW F-G: Primary sealant cannot be installed - exist joint @ (+/-) 1/4" to 0"



Line 1 CW H-J: Snap on cover cannot be removed. 1. The cedar board of the horizontal soffit butts to the top face of the aluminum curtainwall frame @ the north side jamb. 2. The cedar board butts +/- 1/4" below the top of the aluminum curtainwall frame at the far south side jamb. 3. There is no head joint/reveal for the primary sealant. The cedar board butts directly to aluminum curtainwall frame and the sealant/residue is only left on the aluminum curtainwall frame.





**Line 6.9 CW F-G & K-L:** Cut wood at underside of bulkhead. BCG to verify that cut finish cedar board has been properly finished/stained as specified. BCG to verify primary sealant adhesion on cut wood at underside of bulkhead.



**Line 6.9 CW F-G & K-L:** Finished cedar board at bulkhead to align with face of aluminum curtainwall frame.

**END**

## Richard Ryan

---

**From:** Richard Ryan  
**Sent:** Thursday, July 29, 2021 4:42 PM  
**To:** mlehner  
**Cc:** John Richmond; Jim Bruno; labishop@travelers.com; Peter Byerly; mmcnuilty@chacompanies.com; 'Sean Killeen' (skilleen@sherbornma.org); Mark Brown (markalanbrown74@gmail.com); Chad Laroche  
**Subject:** RE: Window Header  
**Attachments:** 062000-Fin Carpentry.pdf; 099100-FSB-Painting\_ExteriorPaintSpecAdd.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Red Category, Sherborn Library

Spec Sections included.

---

**From:** Richard Ryan  
**Sent:** Thursday, July 29, 2021 4:39 PM  
**To:** 'mlehner' <mlehner@beacon.ws>; Peter Byerly <pbyerly@beaconarch.com>; mmcnuilty@chacompanies.com  
**Cc:** John Richmond <jrichmond@beacon.ws>; Jim Bruno <jbruno@beacon.ws>; labishop@travelers.com  
**Subject:** RE: Window Header

Hi Marcus.

Please find my comments below in red.

Thanks

Rich Ryan

BAA

---

**From:** mlehner <[mlehner@beacon.ws](mailto:mlehner@beacon.ws)>  
**Sent:** Wednesday, July 28, 2021 4:41 PM  
**To:** Peter Byerly <[pbyerly@beaconarch.com](mailto:pbyerly@beaconarch.com)>; mmcnuilty@chacompanies.com; Richard Ryan <[rryan@beaconarch.com](mailto:rryan@beaconarch.com)>  
**Cc:** John Richmond <[jrichmond@beacon.ws](mailto:jrichmond@beacon.ws)>; Jim Bruno <[jbruno@beacon.ws](mailto:jbruno@beacon.ws)>; labishop@travelers.com  
**Subject:** Window Header

All,

Just to memorialize our discussion today at the window headers. The agreed method to proceed to testing is:

1. **At the two curtainwall windows on 6.9 line where a cedar board was added on top of the original one:**
  - The outermost sealant will be removed, the existing sealant behind at the original cedar board will remain. The new cedar board that was added will remain in place. **TBD. BCG shall inspect, review (BCG's Kawneer Reps recommendation of current condition exposed?), clean and repair as required the existing primary sealant behind that is to remain for further review. The sealant to remain is to provide a weatherproof air/watertight seal, including, but not limited to, repairs for an air/watertight seal of the primary sealant transition at the head/jamb corners/transitions. Please**

advise to schedule Town representatives accordingly for further review of the corrective work prior to re-testing.

2. At all other curtainwall windows at the new addition

- The seal at the header will be removed. The correct A-new layer of primary sealant will be added that is set back as shown in approved shop drawing details (similar to the jambs).

BAA noted that the cut cedar edge would need to be sealed. BCG to review requirements. All cut cedar shall be sealed/stained as specified. Refer to the attached highlighted Spec Section O62000 and Section 099000 3.02 F.

Regarding the residue of the removed caulk at the jambs: BCG/Five Star will finish sanding the remaining areas and mock-up one location with stain. BAA will then come on-site to review and identify each area that requires staining. BAA shall review the stain sample for verification of acceptability of the condition with the applied stain or no stain (sanded only), rather than replacing the damaged boards entirely. If the staining sample is acceptable, it is expected that all other locations will require the same treatment.

Thank you,

Marcus Lehner

**BEACON**

Consulting Group, Inc.

407R Mystic Avenue, Suite 32C  
Medford, MA 02155  
Phone: 781-395-1650  
Cell: 516-448-1369  
Fax: 781-723-0475

## SECTION 062000

## FINISH CARPENTRY

## PART 1 GENERAL

## 1.00 GENERAL PROVISIONS

A. Attention is directed to the CONTRACT AND GENERAL CONDITIONS and all Sections within DIVISION 1, GENERAL REQUIREMENTS, which are made a part of this Section of the Specifications.

## 1.01 WORK INCLUDED

A. Provide all finish carpentry and millwork as indicated on the Drawings and as specified herein. Include, but do not limit to:

1. Interior standing and running trim.
2. Plastic laminate countertops.
3. Solid surface counter tops.
4. Wood handrails
5. **Exterior cedar siding and trim.**

## 1.02 RELATED WORK

A. Examine Contract Documents for requirements that affect work of this Section. Other Specification Sections that directly relate to work of this Section include, but are not limited to:

1. Section 018113, SUSTAINABLE DESIGN REQUIREMENTS.
2. Section 055213, HANDRAILS, GUARDRAILS AND SCREEN FENCE.
3. Section 061000, ROUGH CARPENTRY.
4. Section 064000, ARCHITECTURAL WOODWORK.
5. Section 099100, PAINTING; Field finishing of work of this Section.
6. Division 22, PLUMBING.
7. Division 26, ELECTRICAL.

## 1.03 REFERENCES

A. Comply with applicable requirements of the following standards. Where these standards conflict with other specified requirements, the most restrictive requirement shall govern.

## 1. American National Standards Institute (ANSI):

## A161.2 Performance Standards for Fabricated High Pressure Decorative Laminate Countertops

A208.1 Particleboard, Mat-Formed Wood

## 2. American Society for Testing and Materials (ASTM):

## E 84 Surface Burning Characteristics of Building Materials

- 1) Color: As selected by Architect.
- 2) Location: Children's Room Circulation Desk and Program/Crafts Counter.

## 2.06 WOOD HANDRAIL

- A. Quality Standard: Provide AWI Premium Grade materials and workmanship.
- B. Wood Species and Cuts: Provide as follows:
  1. Transparent Finished Work: FSC Certified Flat Cut White Oak with pickled finish to match existing.

2.07 EXTERIOR FINISH CARPENTRY, SIDING AND TRIM

- A. Lumber Trim for Machine Stained Finish:
  1. Species and Grade: FSC-Certified Western red cedar, Grade Clear Vertical Grain Heart; WRCLA.
    - a. Maximum Moisture Content: 15 percent.
    - b. Texture: All sides Surfaced (smooth).
    - c. Siding Profile: 1 x 6, T & G, with V-groove facing in (not exposed to view).
    - d. Trim Profiles: As indicated.
    - e. Fasteners: Stainless steel ring shank fasteners.
    - f. Staining: Machine-coat all faces and edges with exterior semi-transparent bleaching stain as follows:
      - 1) Exterior Semi-Transparent Stain for Machine Staining of exterior wood components:

|          |   |
|----------|---|
| One Coat | <ol style="list-style-type: none"><li>1. Cabots Semi-Transparent Bleaching Oil</li><li>2. Sherwin Williams Equal</li><li>3. PPG Equal</li></ol> |
|----------|---|

## PART 3 EXECUTION

## 3.01 WORKMANSHIP AND INSTALLATION REQUIREMENTS

- A. Dressed and sand finish carpentry work free from machine and tool marks, abrasions, raised grain, or other defects on surfaces exposed to view.
- B. Provide tight joints formed to conceal shrinkage. Fit butt joints with concealed spline. Glue and dowel shop miters which are four inches or greater. Glue and spline miters less than 4 in., with spline concealed.
- C. Blind nail finish work to the greatest extent possible. Where surface nailing is used, set and fill nails to match adjacent wood.
- D. Wherever nailing into concrete is done, care shall be taken to protect pipes or conduits embedded in the slab. No puncturing of pipes or conduits will be allowed. Damage to embedded work shall be corrected without further cost to Owner. Inserts and anchor bolts shall be placed before the pouring of concrete.

E. Secure work to prevent checks or warps. Finish carpentry work shall be properly framed, closely fitted, and accurately set to the required lines and levels and shall be rigidly secured in place.

### 3.02 PAINTING AND FINISHING

A. Field painting and finishing is specified under Section 099100, PAINTING. All finish carpentry items shall be primed or sealed, as work of this section, before installation. Paint or seal coats must be dry before items are installed.

B. Sand all finish work at field joints and where required by installation. Leave work in perfect condition for finishing under Section 099100, PAINTING.

### 3.03 SPECIFIC INSTRUCTIONS

A. Important Note: No attempt is made in the following specific instructions to list all elements of finish carpentry and architectural woodwork required on this project. It is the responsibility of the Contractor to determine for himself from the Drawings the scope and nature of the work required. These specific instructions are intended only to provide additional instructions regarding those portions of the finished carpentry and architectural woodwork for which information beyond that given on the Drawings or covered in the AWI Quality Standards seems needed to properly describe the work. Where the scope of a category is listed it is done in a general manner to assist the Contractor in determining the general nature of work he shall look for as being required in said category, and not to limit the work.

### 3.04 FINISH CARPENTRY WORK

A. Fabricate and install finish carpentry work in accordance with the Drawings, the specifications, and AWI Quality Standards applicable or referenced to this work.

B. Miscellaneous Items: Install all required standing and running trim and other miscellaneous items throughout, as indicated on the Drawings to satisfactorily complete the entire work, whether or not each and every required piece is specifically indicated on the Drawings. Trim shall be of same material and finish as the larger member to which applied.

### 3.05 INSTALLATION OF RAILINGS

A. Install fabricated handrails, as shown on plans, and in accordance with the accepted shop drawings.

B. Set work accurately in location, alignment, and elevation; plumb, true and free of racking.

C. Prior to finalizing the connections and anchorage of the components of the railings, insure that all widths, heights, clearances, handrails extensions and other required dimensions will be provided in accordance with MAAB requirements.

B. Gypsum Wallboard: Fill holes, dents, and similar flaws in gypsum wallboard with plaster of Paris or spackling compound. Cut out and fill cracks. Sand surface of patch smooth and flush with adjacent surfaces. Do not abrade adjacent surfaces. Patched areas shall not be detectable in finished work.

C. Concrete: Prepare concrete surfaces prior to painting. Allow a minimum of 60 to 90 days curing time prior to painting poured or precast concrete. Allow a minimum of 30 to 60 days curing time prior to painting concrete masonry. Determine substrate alkalinity and moisture content and take appropriate remedial actions as recommended by paint material manufacturer. Do not paint surfaces which are sufficiently alkaline to cause blistering or peeling until remedial action is taken. Do not paint surfaces where moisture content exceeds that permitted in manufacturer's printed instructions.

1. Wire-brush clean previously painted concrete and masonry surfaces.
2. Thoroughly clean of dirt, grit, loose materials, mortar drippings, and other deleterious substances.
3. Concrete floor which is to receive sealer shall be thoroughly washed with a cleaning and degreasing solution, in accordance with the recommendations of the sealer manufacturer.
4. The first coat for masonry is a fill coat. Thoroughly brush fill coat into the surface in accordance with manufacturer's directions. Preliminary coats on masonry are to be absorbed into the surface. Provide additional undercoats as necessary to achieve perfect uniformity of finish coats.

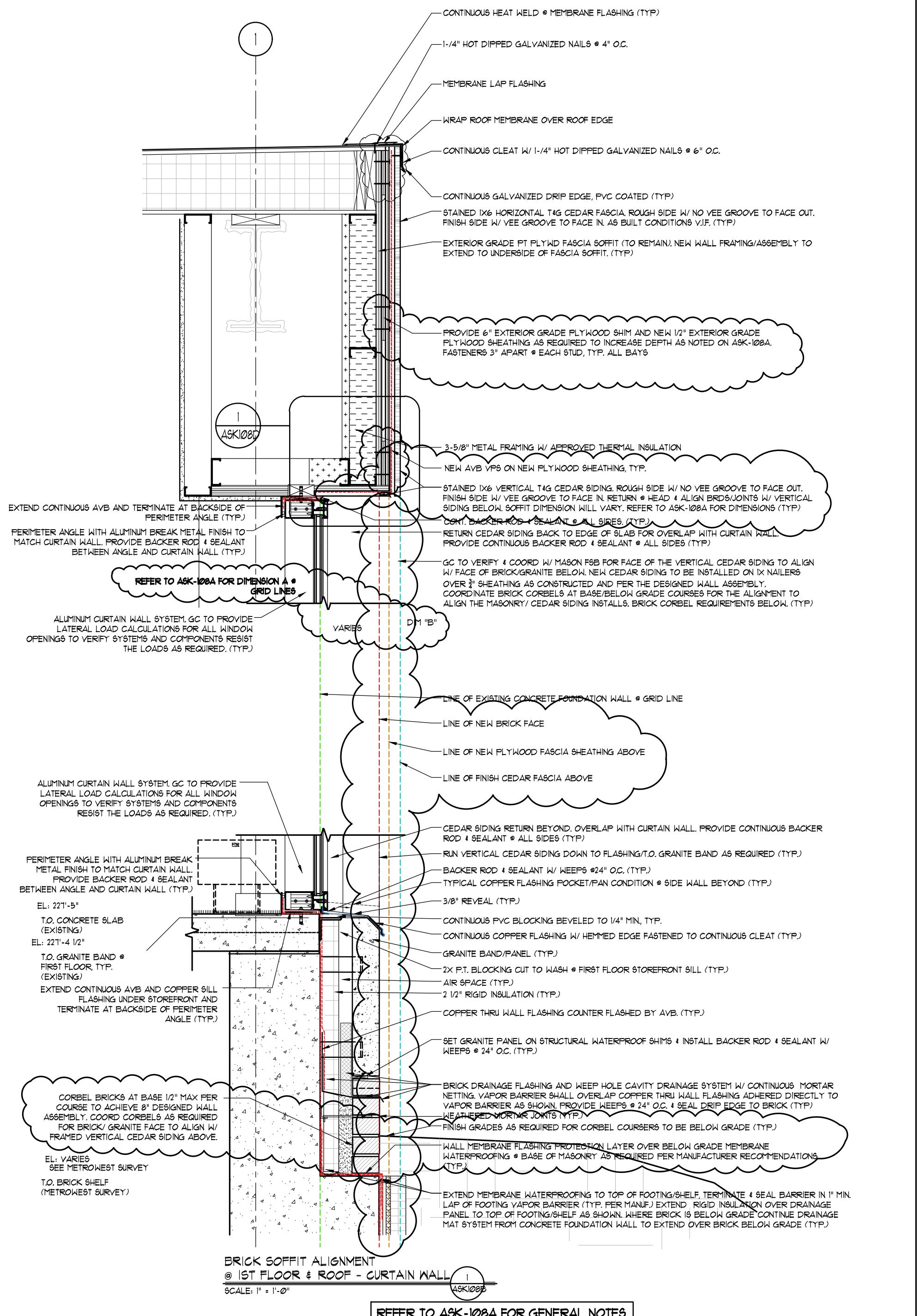
D. Wood to be Painted: Sand surfaces smooth and free of marks prior to applying first coat. Wash sap spots and knots with mineral spirits. When dry, touch-up spots and knots with an approved sealer for exterior work, and with two coats of shellac for interior work.

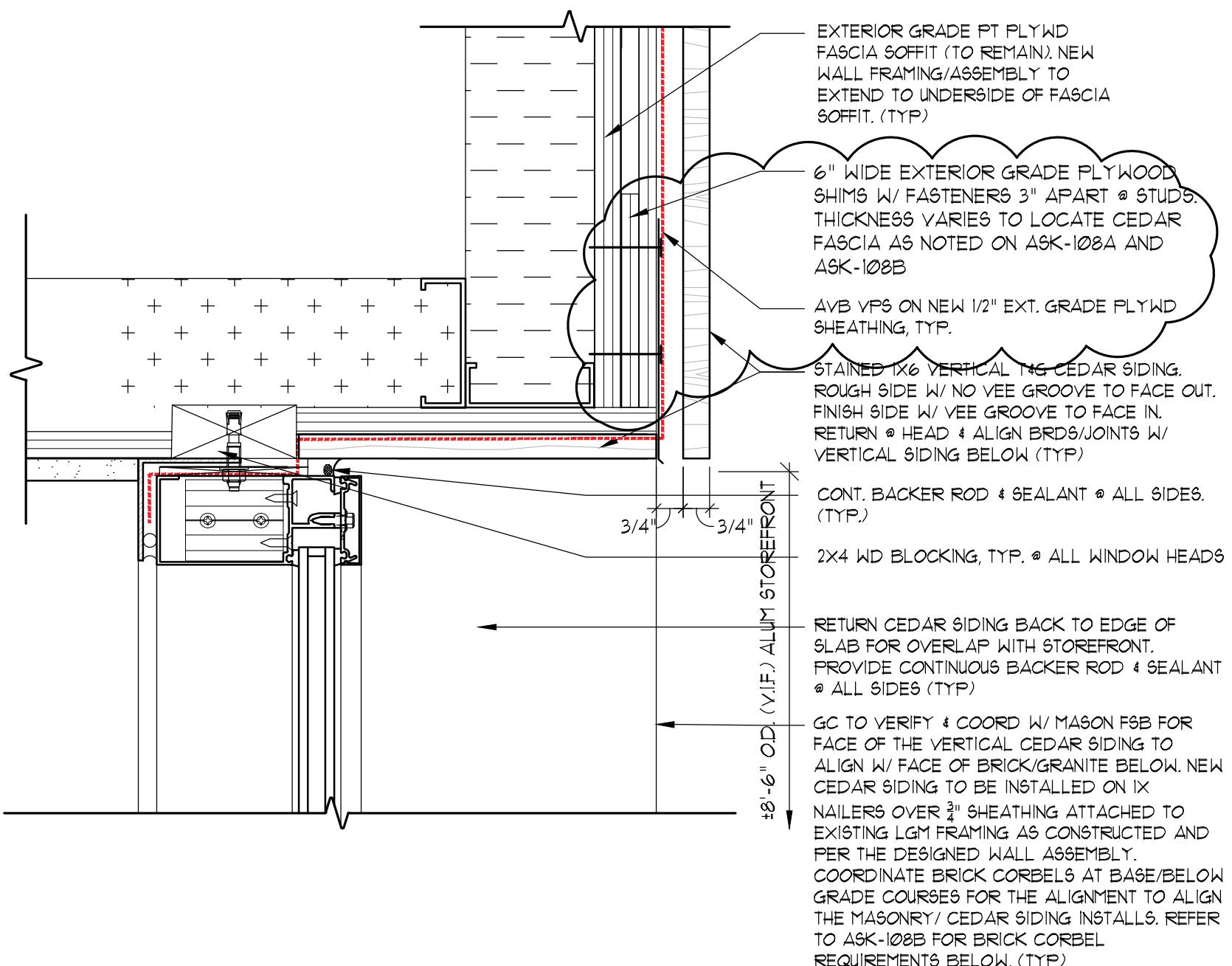
1. Fill nail holes, cracks, open joints, and other defects, with putty or plastic wood filler. Sand smooth when dry.
2. Prime tops, edges, and bottoms, of unprimed wood doors immediately upon delivery. Prime hardware cut-outs in similar manner prior to installation of butts, locks, and closers.
3. Prime wood edges, ends, faces, undersides, backsides, including cabinets, casework, paneling, and mouldings and trim.
4. Prime wood glazing rabbets and sealant slots before glazing or sealant work is begun.

F. Wood to be Transparent Finished: Sand smooth and free of marks before applying the first coat. Wash sap spots and knots with mineral spirits. When dry, touch-up spots and knots with two coats of shellac.

1. Backprime work with an approved spar varnish.
2. Fill nail holes, cracks, open joints, and other defects after first coat is dry, using an exterior filler compatible with the finishing specified and tinted to camouflage repairs.
3. Seal tops, edges, and bottoms, of unfinished wood doors immediately upon delivery. Seal cut-outs in similar manner prior to installation of butts, locks, and closers. If stained finish is required obtain alternate instructions from Architect. After being fitted by the carpenter, seal cut edges again, in similar manner, and then top and bottom edges shall be given an additional seal coat.
4. Seal wood glazing rabbets and sealant slots before glazing or sealant work begins.

G. Field-Welded Ferrous Metal: After installation, field-welding, and grinding, and immediately





### SOFFIT DETAIL @ 1 LINE

SCALE: 3" = 1'-0"

1  
ASK-108D

REFER TO ASK-108A FOR GENERAL NOTES

CLOUDED AREAS SHOW CORRECTIVE WORK TO ADDRESS MISALIGNMENT OF THE BUILDING ADDITION