

December 19, 2023

Mr. Richard S. Novak
 Chairman, Norton Zoning Board of Appeals
 Town of Sherborn
 19 Washington Street
 Sherborn, MA 01770

Re: Clawe – Comprehensive Permit Plan Changes

Dear Mr. Novak and Board Members.

This letter provides a summary of the recent plan changes due to SBOH septic plan review as following:

- On Lot 1, the well location shown for the abutting well at 34 Greenwood has been updated to better reflect the “as-built” plan provided by Sherborn BOH recently. Note the location previously shown was a more conservative estimate based on GIS and another BOH record without showing the properly abutting current project land. All required setbacks have been updated.
- On Lot 1, 2 and 3, the SAS has been resized to reflect the Health Agent’s conservative characterization of the soil type as sandy loam. Again, all required setbacks have been updated.
- No Change for Lot 4.

Please feel free to contact us if you have any questions.

Sincerely,

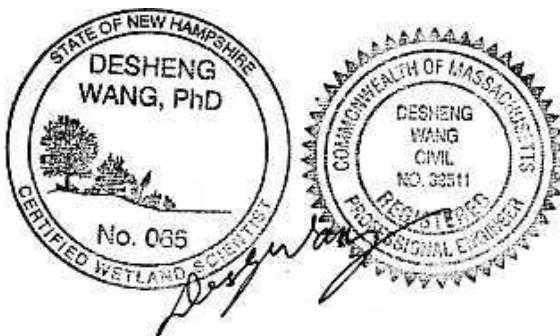
Creative Land & Water Engineering, LLC

By

Desheng Wang, Ph.D., P.E.

Civil/Environmental Engineer and

Certified Wetland Scientist



CC:

Robert Murchison, 177 Lake Street, Sherborn, MA 01770

Paul Haverty, esq.

Jeanne Guthrie

From: Bob Murchison <bob.murchison@me.com>
Sent: Tuesday, December 19, 2023 10:01 AM
To: Ellen Hartnett
Cc: Mark Oram; Matthew Bevers; Daryl Beardsley; 'Desheng Wang'; 'Paul Haverty'; Rick Novak; Jeanne Guthrie; Jeremy Marsette; 'Bouley, Steven'
Subject: Greenwood Homes Title V Updated Plans
Attachments: Clawe - Greenwood St septic Lot 1 - 12 18 2023 R2.pdf; Clawe - Greenwood St septic Lot 2 - 12 18 2023 R2.pdf; Clawe - Greenwood St septic Lot 3 - 12 18 2023 R2.pdf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Sherborn BOH,

Please see attached updated Title V septic plans for Lots 1, 2 and 3 at Greenwood Homes. Two hard copies will be dropped at the BOH office today.

We have made the following changes in response to the Health Agent's requests:

- On Lot 1, the well location shown for the abutting well at 34 Greenwood has been updated to better reflect the "as-built" plan provided by Sherborn BOH. Note the location previously shown was a more conservative estimate based on GIS. All required setbacks have been updated.
- On Lot 1, 2 and 3, the SAS has been resized to reflect the Health Agent's differing characterization of the soil type. Again, all required setbacks have been updated.

In response to the ZBA request, we have expedited the plan changes and hope the Board will move quickly to approve the Title V permits.

Please let us know of any questions or concerns.

Bob Murchison
Fenix Partners Greenwood Street Homes, LLC
(617) 308-1961

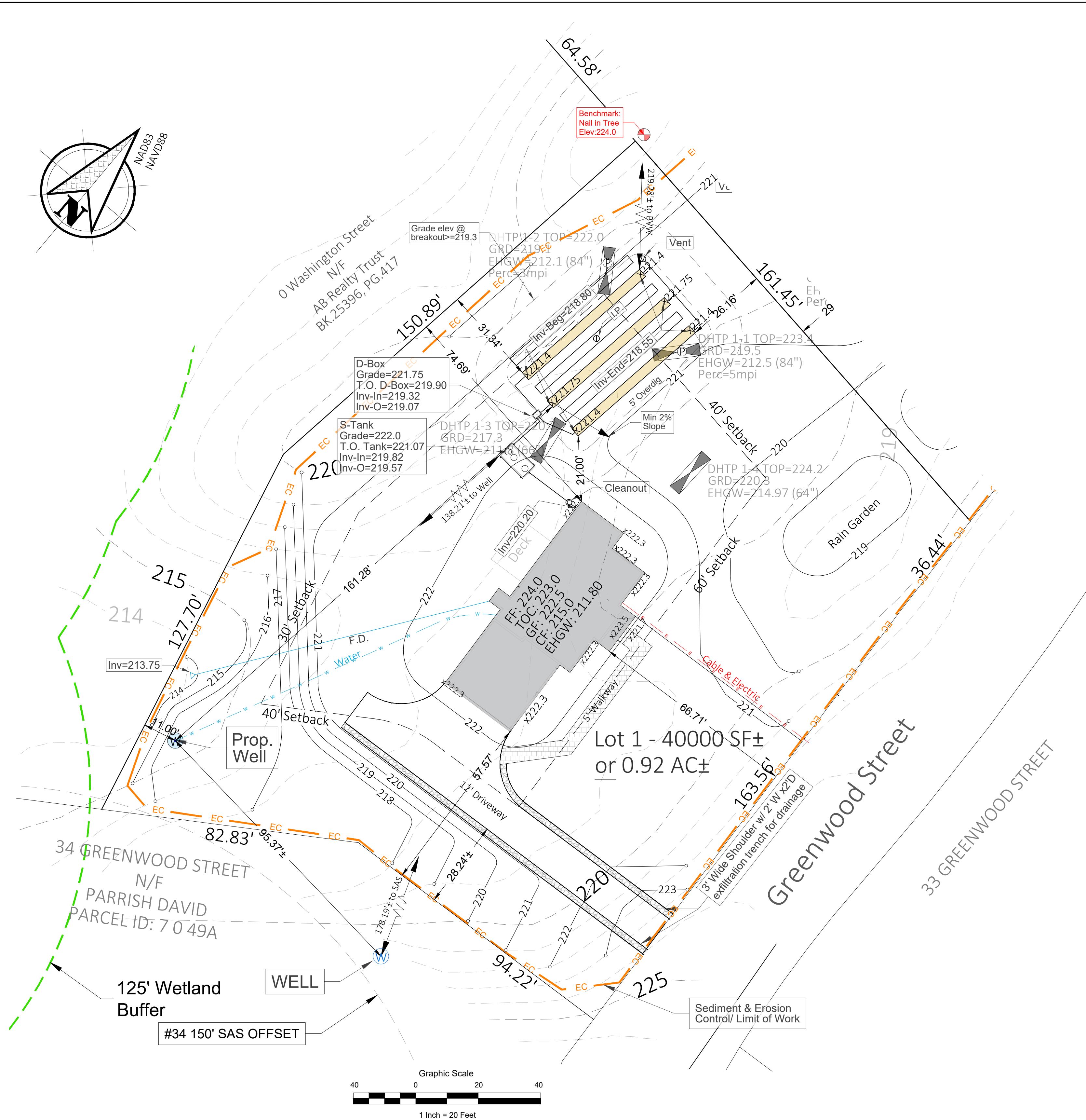
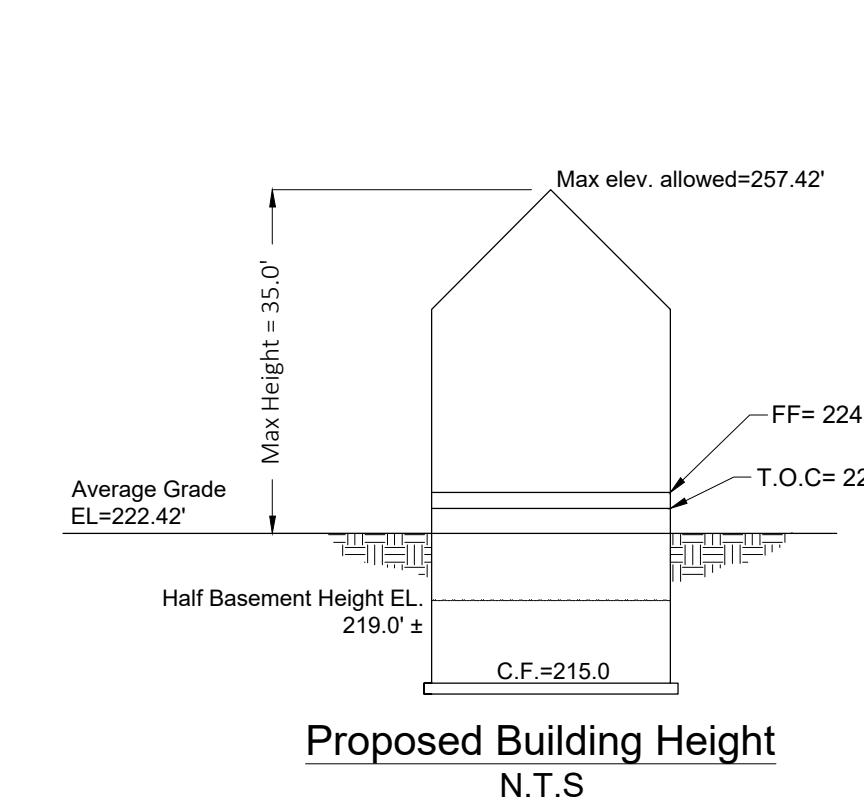


Table 1. Lowest Average Finished Grade (for building Permit)			
Section	Location description	Section L, ft	Elev. G, ft
1	Landing	22	223.5
2	The rest estimated	204.23	222.3
	Total	226.23	45400.33
Average Grade=			50317.33
			222.42

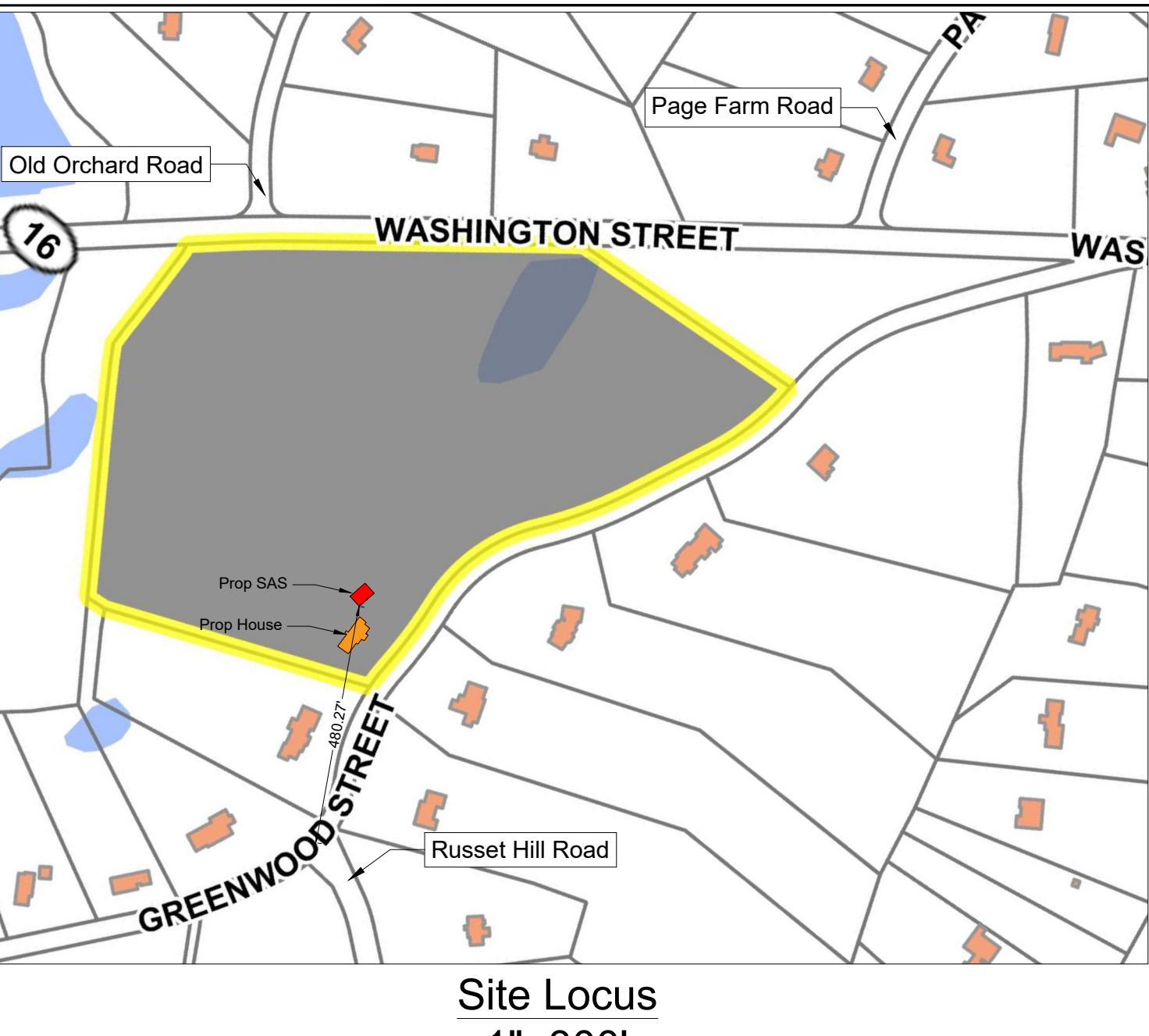
Table 2. Zoning Compliance Summary (Sherborn Residential B District)			
Item	RB	Proposed	Waiver Required (Yes, No)
Minimum Lot Area	2 acres	0.92 acres	Yes
Minimum Frontage	200 feet	200 feet	No
Minimum Lot Width	200 feet	212.39 feet	No
Minimum Lot Depth	n/a	n/a	n/a
Minimum Front Setback	60 feet	66.71 feet	No
Minimum Side Setback	40 feet	57.57	No
Minimum Rear Setback	30 feet	74.69	No
Maximum Height (stories)	2.5 stories	2.5 Stories	No
Maximum Height (feet)	35	<35	No
Maximum Lot Coverage	n/a	n/a	n/a



ADDITIONAL NOTES

- Based on our record review at Sherborn Board of Health and field investigation, there are no existing wells located within 200-ft of the proposed septic leaching field unless otherwise noted on the plan.
- The proposed unit will serve a 4-bedroom single family house.
- The proposed onsite well serving the proposed residential house meet the required setback 100 ft from SAS and 50 ft from septic tank and other setback requirements per 310 CMR 15.211 as shown on the plan.
- The proposed septic soil absorption system (leaching field) for the project is not located within or impacted by any easements, wetlands, vernal pools or flood zones per State Environmental code 310 CMR 15.00 as shown on the plan.
- The project is located within a nitrogen sensitive area. The parcel is 0.92 AC (4000 Sq.ft) and will accommodate the 4-bedroom design (440 gallons per day), which meets State Environmental code 310 CMR 15.00 of 440 gallons per day per acre.
- There are no bordering vegetated wetlands located within 100' of the proposed SAS as shown on the plan.
- There are no wetlands bordering surface water supply or tributaries within 200' of the SAS unless otherwise shown on the plan.
- There is no surface, foundation drain or other forms of open, surface or subsurface drains located within 100 ft of the leaching field for the project that intercept high groundwater table, nor any other forms of drains (open, surface, subsurface) intercept high groundwater.
- There is no surface water located within 150' of the SAS unless otherwise noted.
- There are no surface water supplies located within 400' of the proposed SAS unless otherwise shown.
- There are no inland banks located within 150' of the proposed SAS.

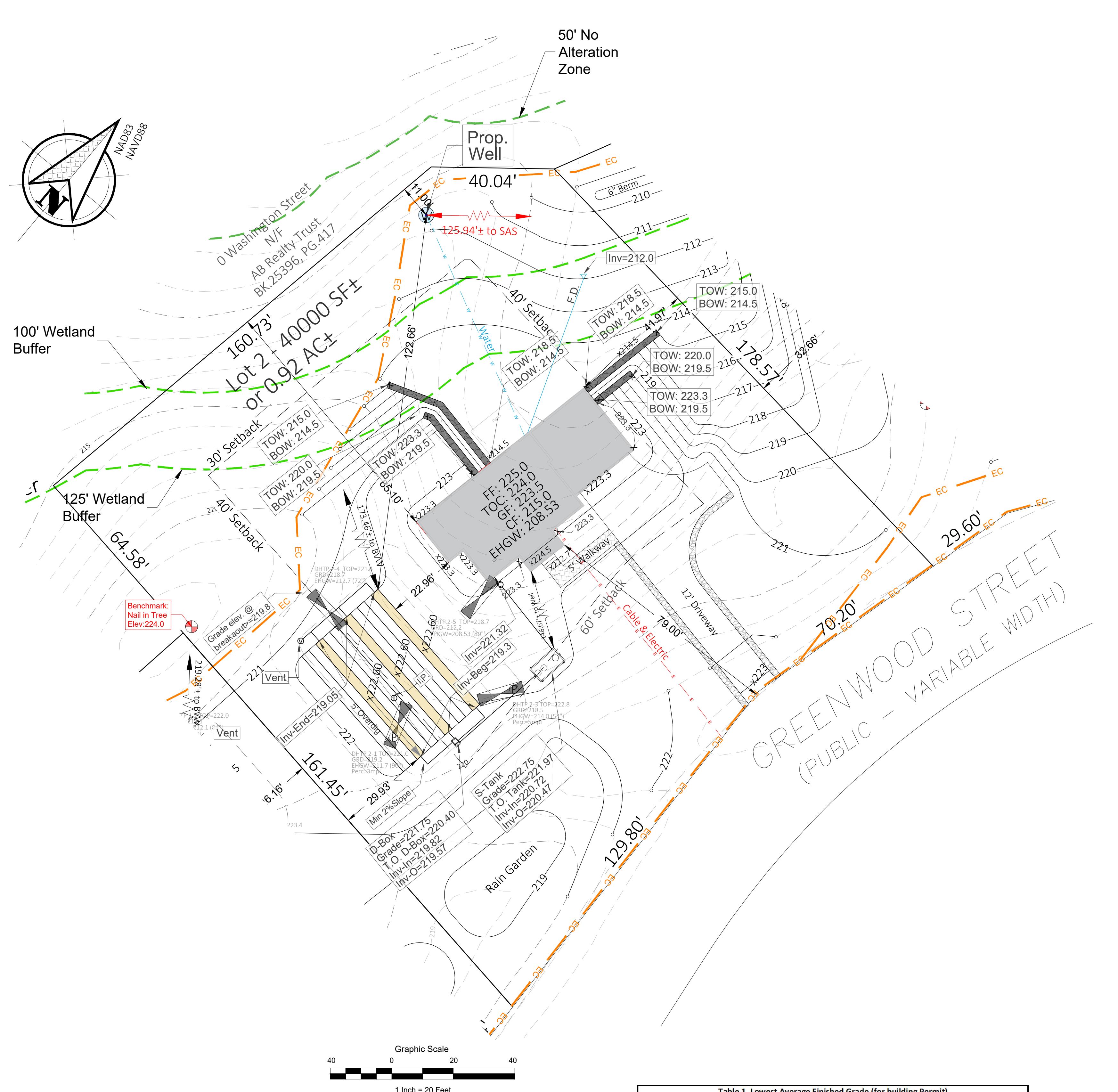
Well note: Based on our record review at Sherborn Board of Health and field investigation, there are no existing septic leaching fields located within 150-ft upgradient or downgradient of the proposed drinking water well unless otherwise noted.



Creative Land & Water Engineering, LLC
Environmental Scientists and Engineers

P.O. Box 584 - Southborough - MA - 01772
774-454-0266 www.claweng.com

Plan Title:	Lot 1 Septic and Well Plan		
Project Name:	Greenwood Street Homes		
Site Address:	0 Washington St (Map 7, Lot 49) - Sherborn, MA		
Owner:	AB Realty Trust	Client:	Robert Murchison
Project No:	J269-19a	Drawn by:	F.A.
Designed by:	DSW/FA	Approved by:	DSW
Scale:	Indicated		
Rev.:	12/18/23	Leaching field, minor grading around SAS	DSW/FA
Date:	12/05/23	General notes, house and driveway, grading, septic inverts & features	DSW/FA
Description:			
By:	A. Murchison		



General Notes

- Record owner is AB Realty Trust of 7 Saint Joseph St, Hyannis, MA 02601. See Middlesex County Registry of Deeds Book 25396, Page 417 and Sherborn Assessor's Map 7, Lot 49 for records.
- The Zoning district for the parcel is RB.
- The lot is shown in a FEMA Federal Hazard Zone "X" (unshaded), area of minimal flood hazard and outside the 0.2% annual chance floodplain. FIRM 25017C0632E, Effective 06/04/2010.
- This plan is only for the purpose of comprehensive permitting.
- The Wetland Delineation was conducted by Creative Land & Water Engineering, LLC, on February 24 and on March 3, 4, 8, and 14 of 2022 and approved by Sherborn Conservation Commission on October 11, 2022, DEP file 283-0437.
- The Horizontal Datum was based on NAD 83.
- Existing site details are based on the plan titled "Plan of Land" by Samiotes Consultants, INC., dated January 11, 2023.
- This plan is referenced vertically to the North American Vertical Datum of 1988 by RTK GPS observations taken on March 11, 14 & 15 of 2022 by Samiotes Consultants, INC.
- The plan is the result of an instrument survey performed on March 11, 14 & 15 of 2022 by Samiotes Consultants, INC.
- Owners of abutting properties are according to current assessor's records.

Septic Notes

- This plan is only for a new, 4-bedroom, single family house septic construction and grading purposes.
- This plan and specifications are intended to be explanatory of the work to be done for review, approval, and field construction. Should any omissions, errors, or discrepancies appear, they shall be subject to correction and interpretation by the design engineer to define and fulfill the intent of the plans according to applicable regulations and engineering principles. The Board of Health Representative shall also be notified.
- To verify that the plans being utilized for construction are current, call 774-454-0266.
- All erosion control shall be installed according to the plan prior to construction.
- Prior to execution of construction contract or commencement of construction, all B.O.H. permits and relevant Town Permits must be obtained. This plan must be approved by, and a disposal works construction permit issued by the Sherborn board of health if applicable.
- All materials and workmanship shall be in compliance with title 5 of the state sanitary code.
- An installer certification is required for the installation of the septic system.
- NO GARBAGE GRINDER IS ALLOWED FOR THIS DESIGN. PROOF OF DEED RESTRICTION IS REQUIRED BY THE BOARD OF HEALTH PRIOR TO THE RELEASE OF THE APPROVED PLAN.
- The septic tank shall be inspected annually and pumped as needed and records retained.
- Prior to construction, property lines and proposed structures shall be field staked by a Professional Land Surveyor.
- There are no other existing utilities or liens on the property except as shown on the plan, which shall be verified by DIGSAFE if they are underground.
- It shall be the responsibility of the contractor to contact all utility companies for field locations of existing underground pipes, conduits, tanks, structures, etc. Contact DIGSAFE at 1-888-344-7233 or 811.
- If conditions encountered during construction vary substantially from those shown on this plan, notify CLAWE before proceeding with construction. The Board of Health Representative shall also be notified.
- Upon completion of excavation for the leaching facility the board of health and design engineer shall be notified for inspection.
- All components are not to be backfilled or concealed without inspection by Board of Health and permission obtained by Board of Health.
- After construction, this system will be inspected by the B.O.H. and by the design engineer. After verification of the construction, the engineer will certify that the system is constructed in significant compliance with the design plan and the terms of the permit prior to the final approval of the B.O.H.
- The as-built survey and sieve analysis for the imported fill material shall be provided to the Sherborn Board of Health prior to inspection.
- It is the Contractor's responsibility to notify the design engineer and board of health for all required inspections at least 72 hours in advance.
- All loam, subsoil and other unsuitable material below the invert elevation of the leaching facility must be removed within 5 feet of the leaching area and replaced with material having a percolation rate of 2 minutes per inch or less in accordance with 310 CMR 15.255 (3).
- Limits of excavation of the soil absorption system may be made by mechanical means to assure that the soil at the bottom of the excavation area is not compacted or smeared.
- Prior to placement of the fill, the bottom surface of the excavation shall be dry and scarified. The fill shall be stockpiled at the edge of foundation and pushed or cast inward over excavated area. The fill shall not be placed during rain or snow storms. Dewatering is required if fill is to be placed below groundwater.
- A sieve analysis is to be completed on the "in place" imported fill and shall meet the specifications in accordance with 310 CMR 15.255 (3).
- The septic tank shall be two compartments with gas baffle and outlet filter sized in accordance with the design flow.
- Where retaining wall is required, it should be constructed to ASTM standards and 310 CMR 15.255(2).
- The leaching area and septic tank shall be located to meet all the applied setbacks and groundwater separation in the State Environmental Code 310 CMR 15.211.
- All disturbed areas shall be stabilized with loam and seed.
- All construction shall follow the design plan, 310 CMR 15.00.
- The septic tank shall be maintained in accordance with 310 CMR 15.351.
- Fill material for leaching field fill shall be in compliance with 310 CMR 15.255 (3).
- Leaching fields and septic system components are not designed to stand construction equipment loading. The contractor and owner shall be responsible for preventing vehicle or heavy loading over the septic system.
- All system components shall be marked with magnetic tape for future location per 310 CMR 15.221:
 - four sides of the SAS and top of the distribution laterals;
 - envelope of the septic tank, pumping chamber, and the D-box;
 - any other I/A components.

ADDITIONAL NOTES

- Based on our record review at Sherborn Board of Health and field investigation, there are no existing wells located within 200-ft of the proposed septic leaching field unless otherwise noted on the plan.
- The proposed unit will serve a 4-bedroom single family house.
- The proposed onsite well serving the proposed residential house meet the required setback 100 ft from SAS and 50 ft from septic tank and other setback requirements per 310 CMR 15.211 as shown on the plan.
- The proposed septic soil absorption system (leaching field) for the project is not located within or impacted by any easements, wetlands, vernal pools or flood zones per State Environmental code 310 CMR 15.00 as shown on the plan.
- The project is located within a nitrogen sensitive area. The parcel is 0.92 AC (40000 Sq.ft) and will accommodate the 4-bedroom design (440 gallons per day), which meets State Environmental code 310 CMR 15.00 of 440 gallons per day per acre.
- There are no bordering vegetated wetlands located within 100' of the proposed SAS as shown on the plan.
- There are no wetlands bordering surface water supply or tributaries within 200' of the SAS unless otherwise shown on the plan.
- There is no surface, foundation drain or other forms of open, surface or subsurface drains located within 100 ft of the leaching field for the project that intercept high groundwater table, nor any other forms of drains (open, surface, subsurface) intercept high groundwater.
- There is no surface water located within 150' of the SAS unless otherwise noted.
- There are no surface water supplies located within 400' of the proposed SAS unless otherwise shown.
- There are no inland banks located within 150' of the proposed SAS.

Well note: Based on our record review at Sherborn Board of Health and field investigation, there are no existing septic leaching fields located within 150-ft upgradient or downgradient of the proposed drinking water well unless otherwise noted.



Creative Land & Water Engineering, LLC
Environmental Scientists and Engineers

P.O. Box 584 - Southborough - MA - 01772
774-454-0266 www.claweng.com

Plan Title: Lot 2 Septic and Well Plan

Project Name: Greenwood Street Homes

Site Address: 0 Washington St (Map 7, Lot 49) - Sherborn, MA

Owner: AB Realty Trust Client: Robert Murchison

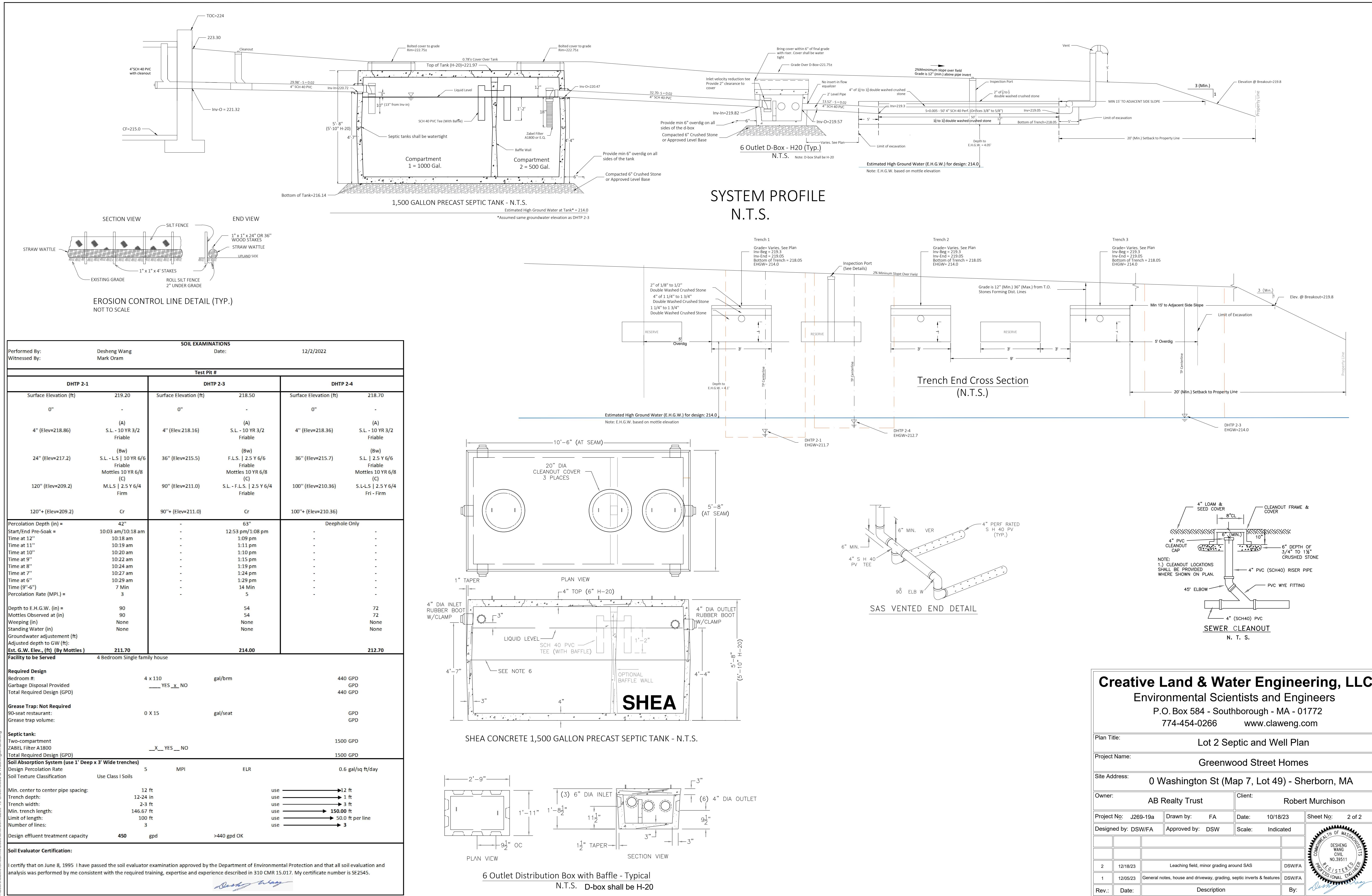
Project No: J269-19a Drawn by: FA Date: 10/18/23 Sheet No: 1 of 2

Designed by: DSW/FA Approved by: DSW Scale: Indicated

2 12/18/23 Leaching field, minor grading around SAS DSW/FA

1 12/05/23 General notes, house and driveway, grading, septic inverts & features DSW/FA

Rev.: Date: Description By: *[Signature]*



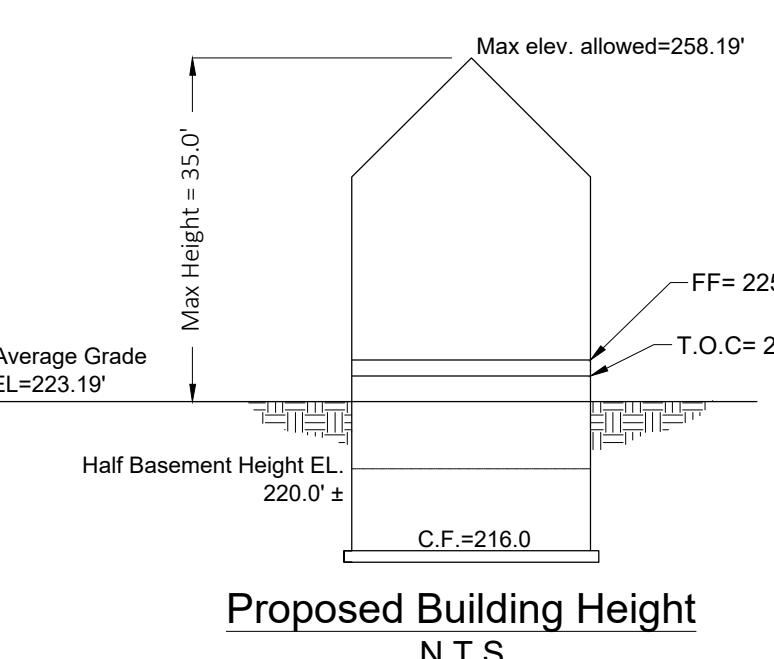
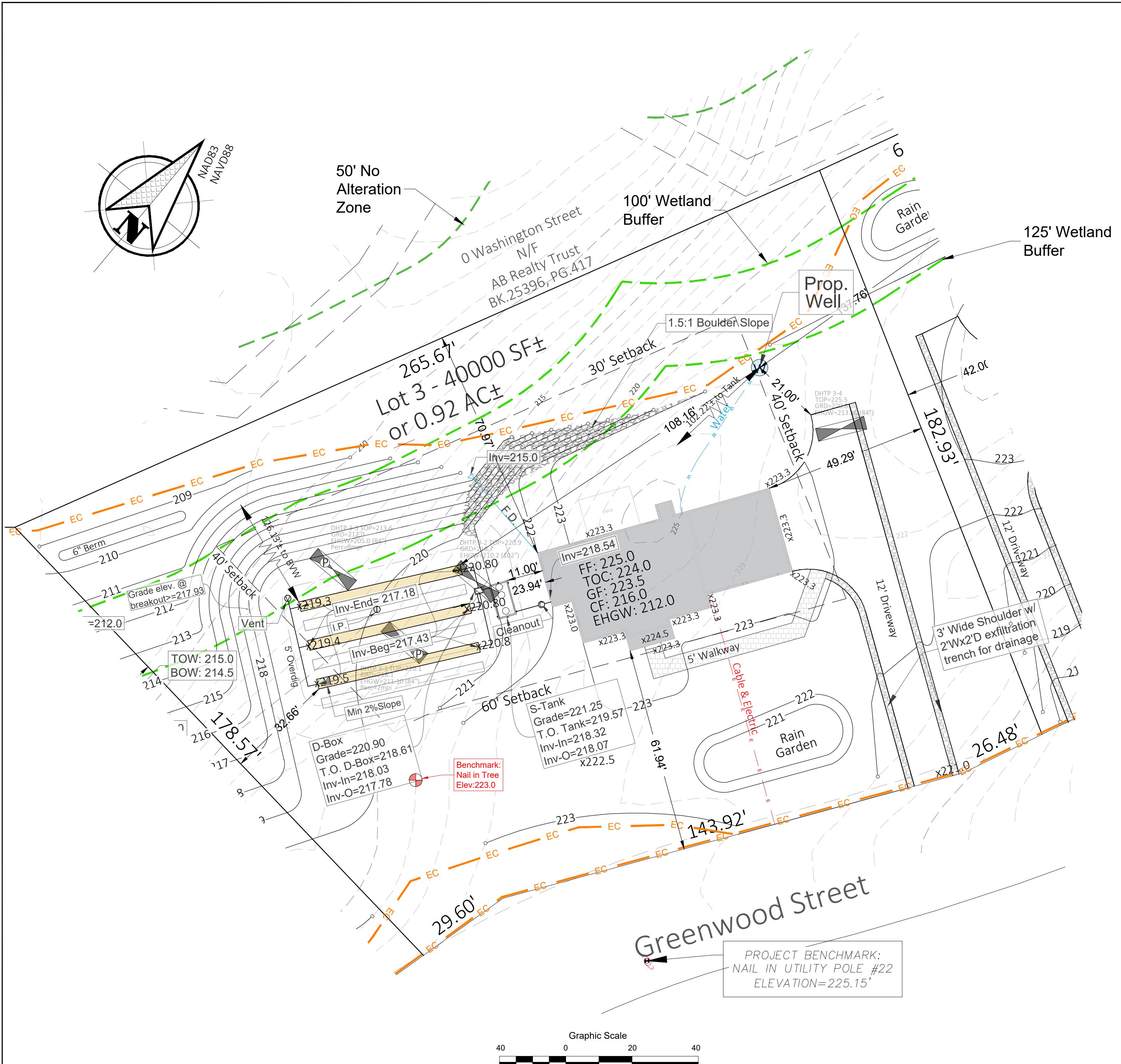
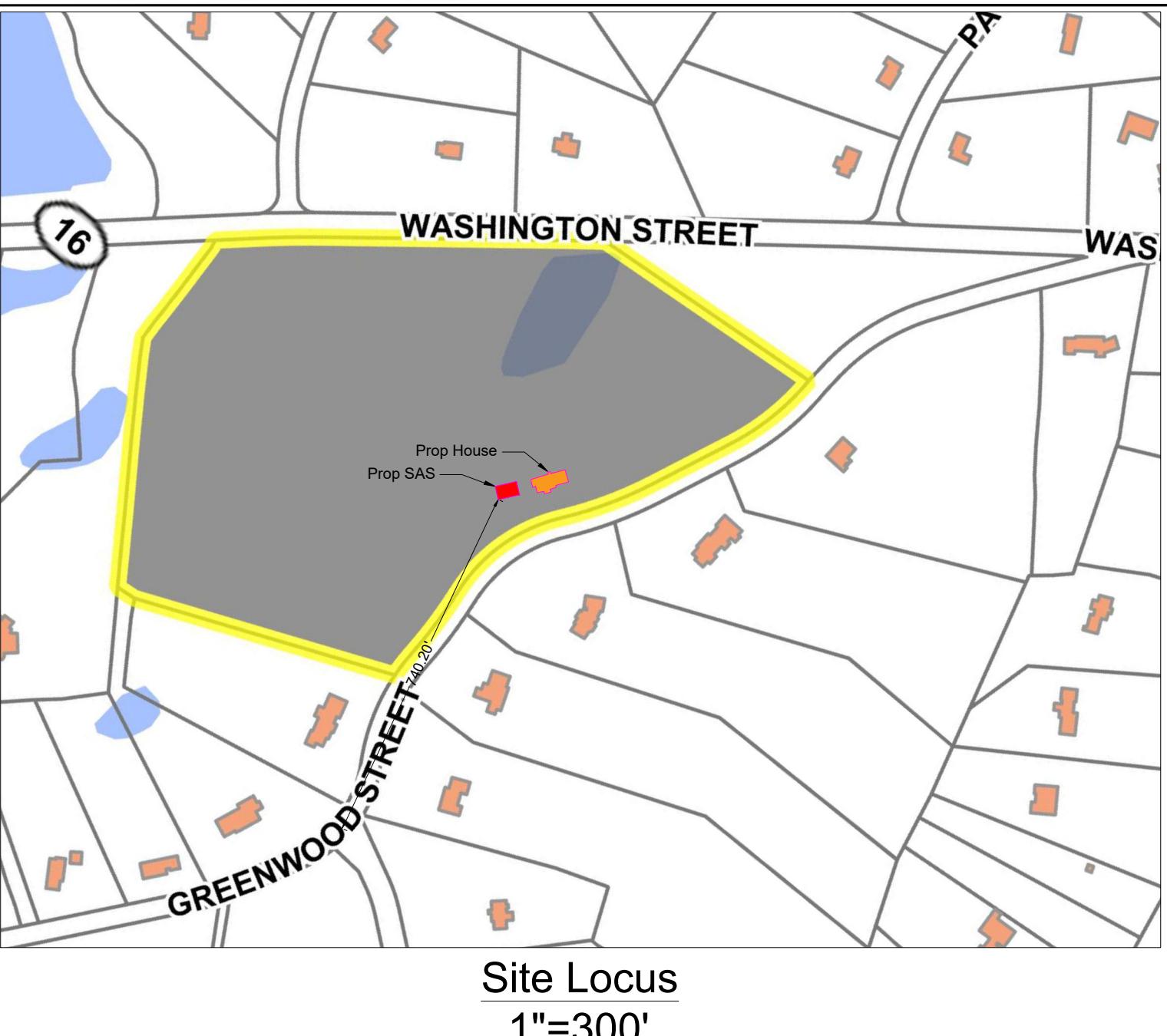


Table 1. Lowest Average Finished Grade (for building Permit)				
Section	Location Description	Section L, ft	Elev. G, ft	LxG
1	Landing	22	224.5	4939.00
2	S.E. Wall side	39.19	222	8700.18
4	The rest estimated	165.04	223.3	36853.43
	Total	226.23	-	50492.61
Average Grade= 223.19				

Table 2. Zoning Compliance Summary (Sherborn Residential B District)			
Item	RB	Proposed	Waiver Required (Yes, No)
Minimum Lot Area	2 acres	0.92 acres	Yes
Minimum Frontage	200 feet	200 feet	No
Minimum Lot Width	200 feet	221.0 feet	Yes
Minimum Lot Depth	n/a	n/a	n/a
Minimum Front Setback	60 feet	61.94 feet	No
Minimum Side Setback	40 feet	49.29 feet	No
Minimum Rear Setback	30 feet	70.97 feet	No
Maximum Height (stories)	2.5 stories	2.5 stories	No
Maximum Height (feet)	35	<35	No
Maximum Lot Coverage	n/a	n/a	n/a

General Notes

- Record owner is AB Realty Trust of 7 Saint Joseph St, Hyannis, MA 02601. See Middlesex County Registry of Deeds Book 25396, Page 417 and Sherborn Assessor's Map 7, Lot 49 for records.
- The Zoning district for the parcel is RB.
- The lot is shown in a FEMA Federal Hazard Zone "X" (unshaded), area of minimal flood hazard and outside the 0.2% annual chance floodplain. FIRM 25017C0632E, Effective 06/04/2010.
- This plan is only for the purpose of comprehensive permitting.
- The Wetland Delineation was conducted by Creative Land & Water Engineering, LLC, on February 24 and on March 3, 4, 8, and 14 of 2022 and approved by Sherborn Conservation Commission on October 11, 2022, DEP file 283-0437.
- The Horizontal Datum was based on NAD 83.
- Existing site details are based on the plan titled "Plan of Land" by Samiotes Consultants, INC., dated January 11, 2023.
- This plan is referenced vertically to the North American Vertical Datum of 1988 by RTK GPS observations taken on March 11, 14 & 15 of 2022 by Samiotes Consultants, INC.
- This plan is the result of an instrument survey performed on March 11, 14 & 15 of 2022 by Samiotes Consultants, INC.
- Owners of abutting properties are according to current assessor's records.



Septic Notes

- This plan is only for a new, 4-bedroom, single family house septic construction and grading purposes.
- This plan and specifications are intended to be explanatory of the work to be done for review, approval, and field construction. Should any omissions, errors, or discrepancies appear, they shall be subject to correction and interpretation by the design engineer to define and fulfill the intent of the plans according to applicable regulations and engineering principles. The Board of Health Representative shall also be notified.
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- All erosion control shall be installed according to the plan prior to construction.
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- Upon completion of excavation for the leaching facility the board of health and design engineer shall be notified for inspection.
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- All loam, subsoil and other unsuitable material below the invert elevation of the leaching facility must be removed within 5 feet of the leaching area and replaced with material having a percolation rate of 2 minutes per inch or less in accordance with 310 CMR 15.255 (3).
- Limits of excavation of the soil absorption system may be made by mechanical means to assure that the soil at the bottom of the excavation area is not compacted or smeared.
- Prior to placement of the fill, the bottom surface of the excavation shall be dry and scarified. The fill shall be stockpiled at the edge of foundation and pushed or cast inward over excavated area. The fill shall not be placed during rain or snow storms. Dewatering is required if fill is to be placed below groundwater.
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- All disturbed areas shall be stabilized with loam and seed.
- All construction shall follow the design plan, 310 CMR 15.00.
- The septic tank shall be maintained in accordance with 310 CMR 15.351.
- Fill material for leaching field fill shall be in compliance with 310 CMR 15.255 (3).
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- All system components shall be marked with magnetic tape for future location per 310 CMR 15.221:
 - four sides of the SAS and top of the distribution laterals;
 - envelope of the septic tank, pumping chamber, and the D-box;
 - any other I/A components.

ADDITIONAL NOTES

- Based on our record review at Sherborn Board of Health and field investigation, there are no existing wells located within 200-ft of the proposed septic leaching field unless otherwise noted on the plan.
- The proposed unit will serve a 4-bedroom single family house.
- The proposed onsite well serving the proposed residential house meet the required setback 100 ft from SAS and 50 ft from septic tank and other setback requirements per 310 CMR15.211 as shown on the plan.
- The proposed septic soil absorption system (leaching field) for the project is not located within or impacted by any easements, wetlands, vernal pools or flood zones per State Environmental code 310 CMR 15.00 as shown on the plan.
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- There are no bordering vegetated wetlands located within 100' of the proposed SAS as shown on the plan.
- There are no wetlands bordering surface water supply or tributaries within 200' of the SAS unless otherwise shown on the plan.
- There is no surface, foundation drain or other forms of open, surface or subsurface drains located within 100 ft of the leaching field for the project that intercept high groundwater table, nor any other forms of drains (open, surface, subsurface) intercept high groundwater.
- There is no surface water located within 150' of the SAS unless otherwise noted.
- There are no surface water supplies located within 400' of the proposed SAS unless otherwise shown.
- There are no inland banks located within 150' of the proposed SAS.

Well note: Based on our record review at Sherborn Board of Health and field investigation, there are no existing septic leaching fields located within 150-ft upgradient or downgradient of the proposed drinking water well unless otherwise noted.

Creative Land & Water Engineering, LLC
Environmental Scientists and EngineersP.O. Box 584 - Southborough - MA - 01772
774-454-0266 www.claweng.com

Plan Title: Lot 3 Septic and Well Plan

Project Name: Greenwood Street Homes

Site Address: 0 Washington St (Map 7, Lot 49) - Sherborn, MA

Owner: AB Realty Trust Client: Robert Murchison

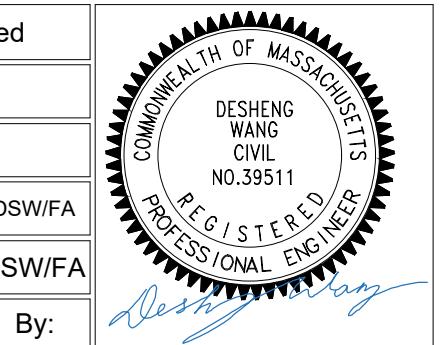
Project No: J269-19a Drawn by: FA Date: 10/18/23 Sheet No: 1 of 2

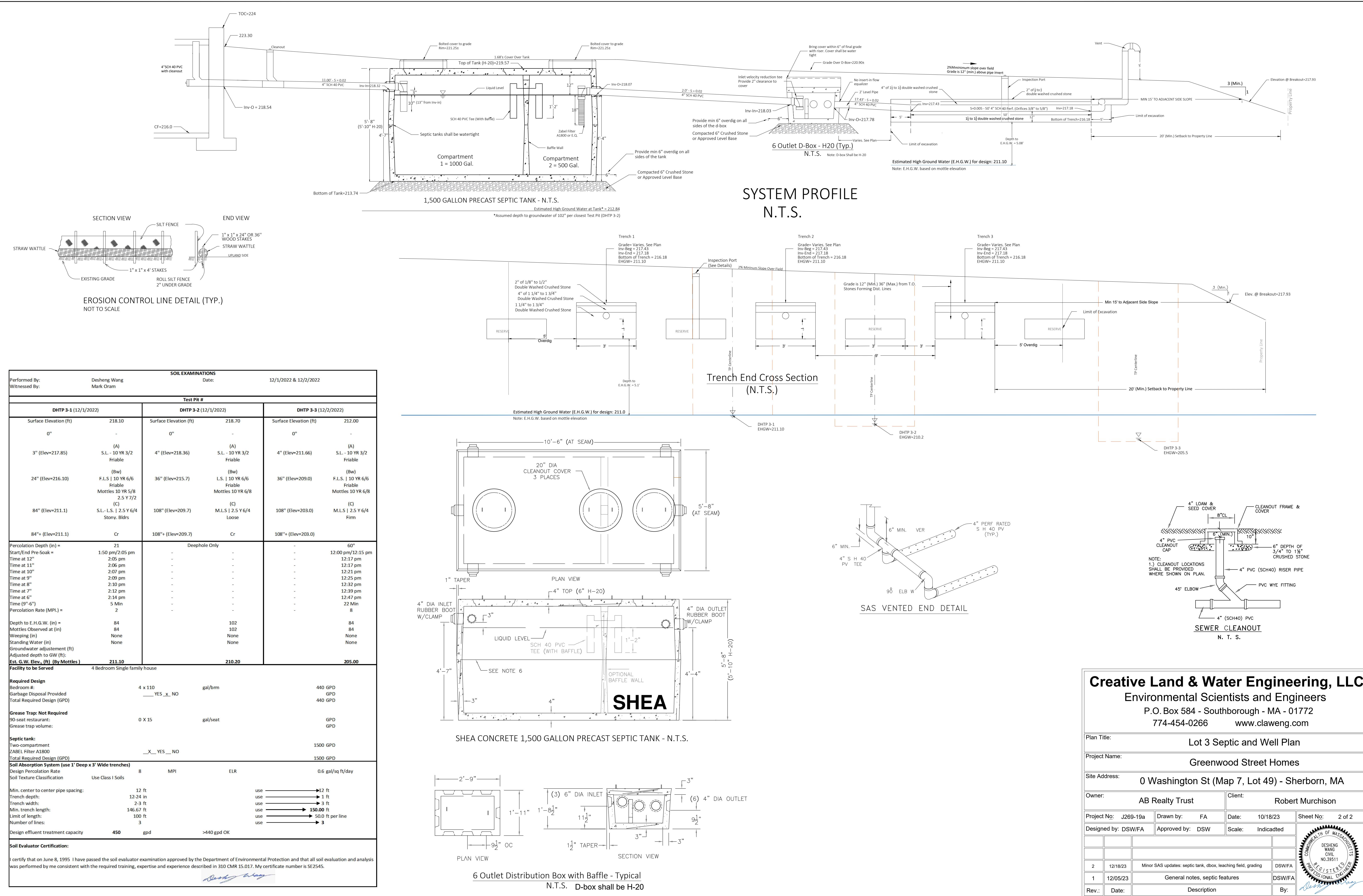
Designed by: DSW/FA Approved by: DSW Scale: Indicated

2 12/18/23 Minor SAS updates: septic tank, dbox, leaching field, grading DSW/FA

1 12/05/23 General notes, septic features DSW/FA

Rev.: Date: Description By:





Comprehensive Permit Plan

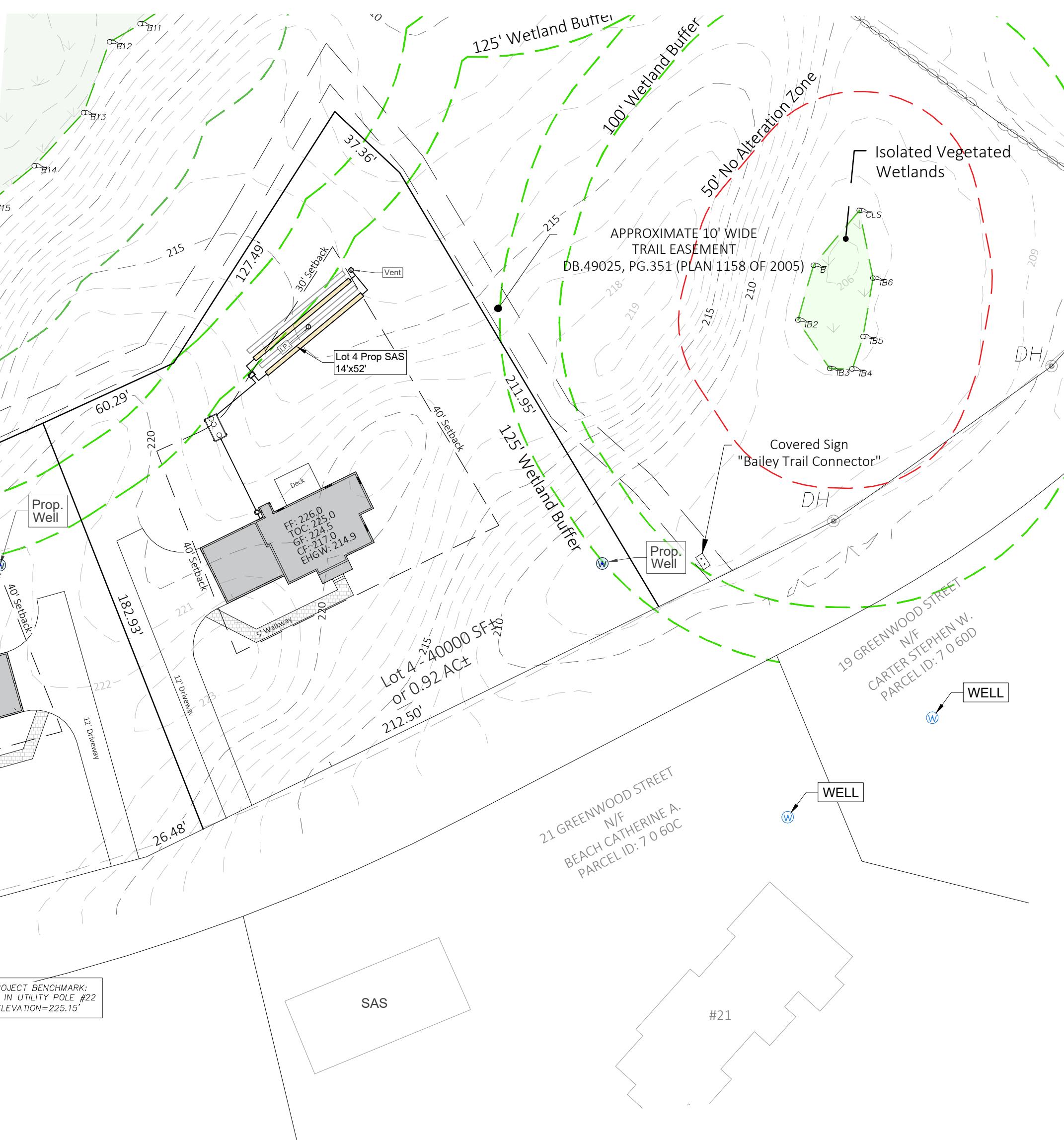
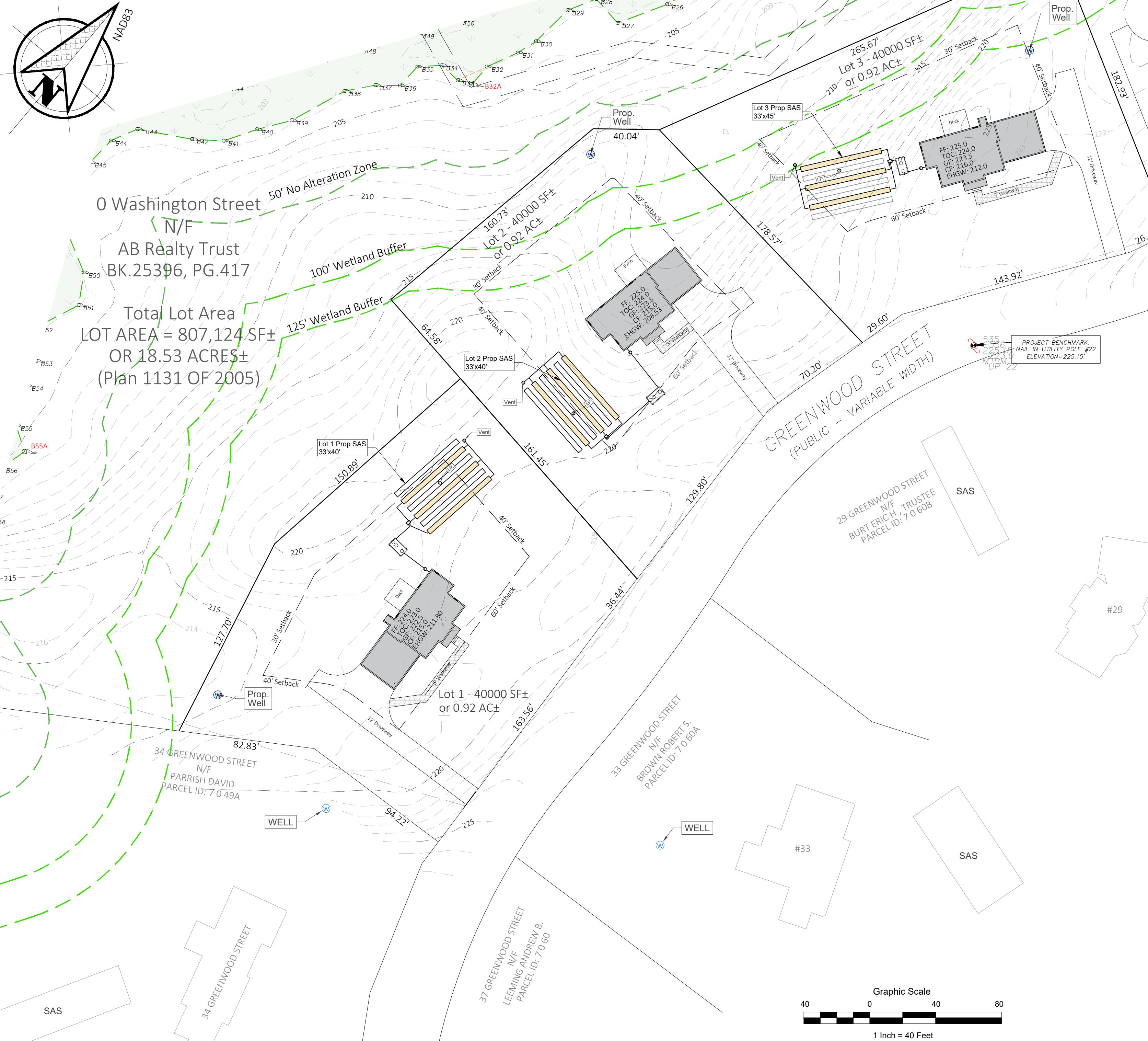
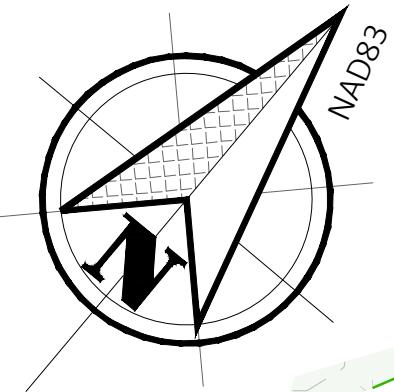
of

Greenwood Street Homes

at Greenwood St

Sherborn, MA

Prepared for



General Note

1. Record owner is AB Realty Trust of 7 Saint Joseph St, Hyannis, MA 02601. See Middlesex County Registry of Deeds Book 25396, Page 417 and Sherborn Assessor's Map 7, Lot 49 for records.
2. The Zoning district for the parcel is RB.
3. The lot is shown in a FEMA Federal Hazard Zone "X" (unshaded), area of minimal flood hazard and outside the 0.2% annual chance floodplain. FIRM 25017C0632E, Effective 06/04/2010.
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9. This plan is the result of an instrument survey performed on March 11, 14 & 15 of 2022 by Samiotes Consultants, INC.
10. Owners of abutting properties are according to current assessor's records.

LAW CHAPTER 40B

DATE APPROVED: _____
DATE ENDORSED: _____

I HEREBY CERTIFY THAT 20 DAYS HAVE LAPSED SINCE THE SHERBORN ZONING BOARD OF APPEALS APPROVAL HAS FILED WITH THE SHERBORN TOWN CLERK AND THAT NO APPEAL HAS BEEN FILED WITH THE

DATE JACKLYN R. MORRIS
SHERBORN TOWN CLERK

Sheet #	Sheet Index	Date	Revision
1	Cover and Index Plan.....	8/17/2023	12/05/2023
2	Existing Conditions Plan	8/17/2023	12/05/2023
3	Proposed Conditions Plan	8/17/2023	12/05/2023
4	Erosion Control Plan	10/18/2023	12/05/2023

Creative Land & Water Engineering, LLC

Environmental Scientists and Engineers

P.O. Box 584 - Southborough - MA - 01772

774-454-0266 www.claweng.com

Cover & Index Plan

Cover & Index Plan

Greenwood Street Homes

Greenwood Street Pictures

0 Greenwood Street - Sherborn, MA

Client: Robert Murchison

J269-19 Drawn by: EA Date: 08/17/23 Sheet No. 1 of 1

by: DSW Date: 08/17/23 Scale: 1" = 40'

DSW, FA Approved by: DSW Scale: 1" = 40'

and other minor septic changes

23 Septic SAS and other minor septic changes DSW/FA
23 Notes, house and driveway location, grading, septic, DSW/EA

age, erosion control

23	Grading, Septic, Drainage, Erosion Control	DSW/PA
	Description	By:





Table 4. State and Local Septic and Well Compliance Summary			Waiver Required (Yes, No)
	State (Title V)	Sherborn By-law	
Setback solid subsurface drain pipe if said drain invert is above the invert of the closest leaching line or bed	-	10	No
Setback from any solid subsurface drain pipe if the invert of that solid subsurface drain pipe is at or below the invert of the closest leaching trench, line, or bed	10	25	No
Setback from wetland, any watercourse, including streams, brooks, ponds, swamps or other wetlands (as defined in Chapter 131, Section 40 of the Massachusetts General Laws)	50	125	Yes
Setback from any curtain drain designed for 'that' system	25	25	No
Setback from any property line	10	20	Yes
Setback from any open surface drain	-	125	n/a
Setback to upgradient well (if less than 3 mpi percolate to add another 25')	100	125	Yes
Setback to downgradient well (if less than 3 mpi percolate to add another 25')	100	150	Yes
Well to property line	-	25	Yes
Well to Well	50	75	NO
Well to driveway	-	20	Yes
Well to roadway/right of way	-	55/50	Yes
Groundwater table separation, for perc rate slower than 2 mpi	4	5	Yes
Groundwater table separation, for perc rate faster than 2 mpi	5	5	n/a

Table 1. Project Site Condition Summary						
General Site Condition	Land Condition	Land Break down	Acres	Sq.Ft	Coverage, %	
		Total Area	3.67	160000	-	
		Unusable land	Wetland (Unusable)	0.00	0	0.0%
	Usable land	Upland	3.67	160000	100.0%	
Existing Conditions	Impervious	Disturbed	Total	0.00	0	0.0%
			Subtotal	0.00	0.00	0.0%
		Buildings	0.00	0	0	0.0%
		Gravel Road & Drive	0.00	0	0	0.0%
		Sidewalk & Walkway	0.00	0	0	0.0%
		Pervious (usable OS)	Lawn/meadow	0.00	0	0.0%
	Usable OS	Undisturbed	Total	3.67	160000	100.0%
		Usable OS	Upland Woods	3.67	160000	100.0%
		Unusable OS	Wetlands	0.00	0	0.0%
		Total Usable OS	Lawn/landscape/woods	3.67	160000	100.0%
Proposed Conditions	Impervious	Disturbed	Total	3.17	138222	86.39%
			Subtotal	0.42	18143	11.34%
		House + Porch	0.19	8318	5.20%	
		Deck + Patio	0.02	768	0.48%	
		Driveway	0.18	7865	4.92%	
		Sidewalk & Walkway	0.03	1192	0.75%	
	Pervious (usable OS)	Pervious (usable OS)	Lawn/landscape	2.76	120078	75.05%
	Undisturbed	Total		0.50	21778	13.61%
	Usable OS	Upland Woods		0.50	21778	13.61%
	Unusable OS	Wetlands		0.00	0	0.00%

Table 2. Summary of Proposed Buildings		
Item	Total	4 Bedroom
Unit	4	4
Bedroom	16	16

Creative Land & Water Engineering, LLC

Environmental Scientists and Engineers

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Proposed Conditions Plan

Greenwood Street Homes

Greenwood Street, Sherborn, MA

Client:

Trust Robert Murchison

Scale: 1" = 40'

DESHENG
WUHAN

and other minor septic changes DSW/FA
and driveway location, grading, septic, DSW/FA
CIVIL
NO.39511

Septic, Drainage, Erosion Control DSW/FA

