

December 19, 2023

Mr. Richard S. Novak
Chairman, Norton Zoning Board of Appeals
Town of Sherborn
19 Washington Street
Sherborn, MA 01770

Re: Clawe – Comprehensive Permit Plan Changes

Dear Mr. Novak and Board Members.

This letter provides a summary of the recent plan changes due to SBOH septic plan review as following:

- On Lot 1, the well location shown for the abutting well at 34 Greenwood has been updated to better reflect the “as-built” plan provided by Sherborn BOH recently. Note the location previously shown was a more conservative estimate based on GIS and another BOH record without showing the properly abutting current project land. All required setbacks have been updated.
- On Lot 1, 2 and 3, the SAS has been resized to reflect the Health Agent’s conservative characterization of the soil type as sandy loam. Again, all required setbacks have been updated.
- No Change for Lot 4.

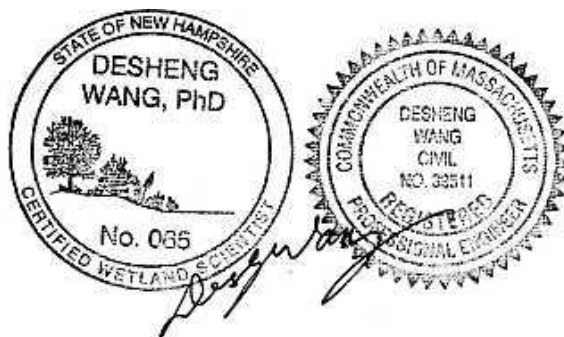
Please feel free to contact us if you have any questions.

Sincerely,

Creative Land & Water Engineering, LLC

By

Desheng Wang, Ph.D., P.E.
Civil/Environmental Engineer and
Certified Wetland Scientist



CC:

Robert Murchison, 177 Lake Street, Sherborn, MA 01770

Paul Haverty, esq.

Jeanne Guthrie

From: Bob Murchison <bob.murchison@me.com>
Sent: Tuesday, December 19, 2023 10:01 AM
To: Ellen Hartnett
Cc: Mark Oram; Matthew Bevers; Daryl Beardsley; 'Desheng Wang'; 'Paul Havery'; Rick Novak; Jeanne Guthrie; Jeremy Marsette; 'Bouley, Steven'
Subject: Greenwood Homes Title V Updated Plans
Attachments: Clawe - Greenwood St septic Lot 1 - 12 18 2023 R2.pdf; Clawe - Greenwood St septic Lot 2 - 12 18 2023 R2.pdf; Clawe - Greenwood St septic Lot 3 - 12 18 2023 R2.pdf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Sherborn BOH,

Please see attached updated Title V septic plans for Lots 1, 2 and 3 at Greenwood Homes. Two hard copies will be dropped at the BOH office today.

We have made the following changes in response to the Health Agent's requests:

- On Lot 1, the well location shown for the abutting well at 34 Greenwood has been updated to better reflect the "as-built" plan provided by Sherborn BOH. Note the location previously shown was a more conservative estimate based on GIS. All required setbacks have been updated.
- On Lot 1, 2 and 3, the SAS has been resized to reflect the Health Agent's differing characterization of the soil type. Again, all required setbacks have been updated.

In response to the ZBA request, we have expedited the plan changes and hope the Board will move quickly to approve the Title V permits.

Please let us know of any questions or concerns.

Bob Murchison
Fenix Partners Greenwood Street Homes, LLC
(617) 308-1961

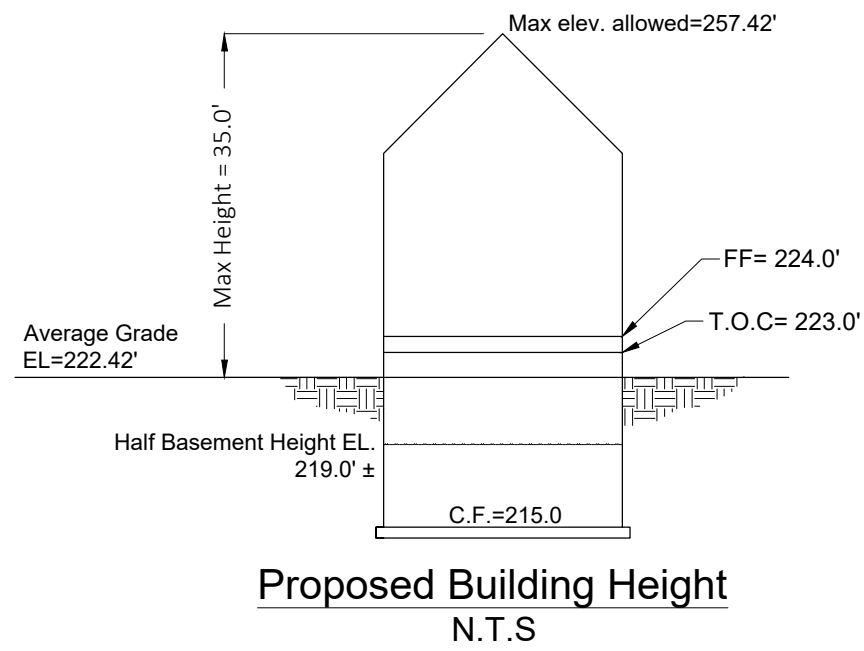
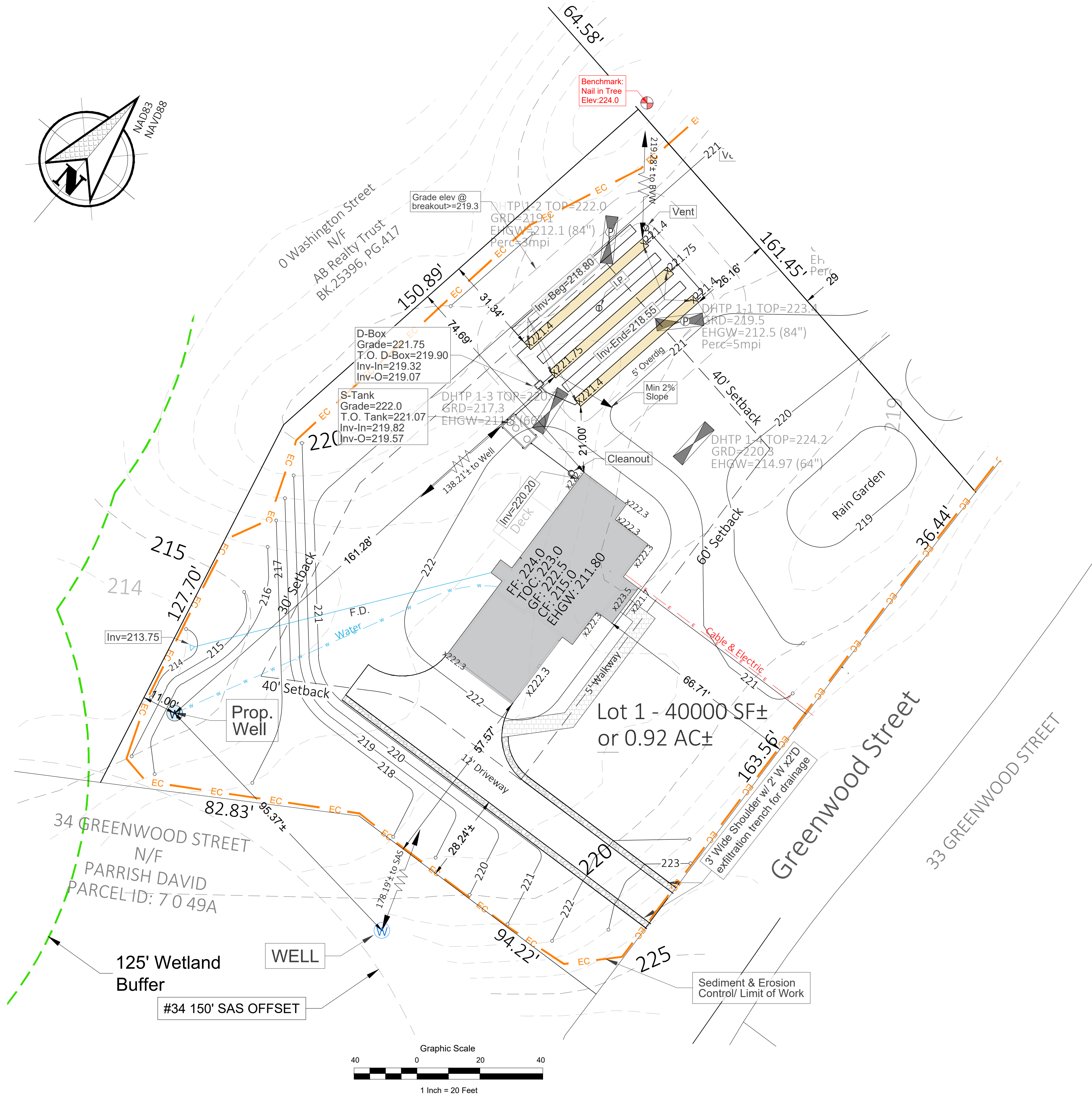


Table 1. Lowest Average Finished Grade (for building Permit)				
Section	Location description	Section L, ft	Elev. G, ft	LxG
1	Landing	22	223.5	4917.00
2	The rest estimated	204.23	222.3	45400.33
Total		226.23	-	50317.33
Average Grade=				222.42

Table 2. Zoning Compliance Summary (Sherborn Residential B District)			
Item	RB	Proposed	Waiver Required (Yes, No)
Minimum Lot Area	2 acres	0.92 acres	Yes
Minimum Frontage	200 feet	200 feet	No
Minimum Lot Width	200 feet	212.39 feet	No
Minimum Lot Depth	n/a	n/a	n/a
Minimum Front Setback	60 feet	66.71 feet	No
Minimum Side Setback	40 feet	57.57	No
Minimum Rear Setback	30 feet	74.69	No
Maximum Height (stories)	2.5 stories	2.5 Stories	No
Maximum Height (feet)	35	<35	No
Maximum Lot Coverage	n/a	n/a	n/a

General Notes

- Record owner is AB Realty Trust of 7 Saint Joseph St, Hyannis, MA 02601. See Middlesex County Registry of Deeds Book 25396, Page 417 and Sherborn Assessor's Map 7, Lot 49 for records.
- The Zoning district for the parcel is RB.
- The lot is shown in a FEMA Federal Hazard Zone "X" (unshaded), area of minimal flood hazard and outside the 0.2% annual chance floodplain. FIRM 25017C0632E, Effective 06/04/2010.
- This plan is only for the purpose of comprehensive permitting.
- The Wetland Delineation was conducted by Creative Land & Water Engineering, LLC. on February 24 and on March 3, 4, 8, and 14 of 2022 and approved by Sherborn Conservation Commission on October 11, 2022, DEP file 283-0437.
- The Horizontal Datum was based on NAD 83.
- Existing site details are based on the plan titled "Plan of Land" by Samiotes Consultants, INC., dated January 11, 2023.
- This plan is referenced vertically to the North American Vertical Datum of 1988 by RTK GPS observations taken on March 11, 14 & 15 of 2022 by Samiotes Consultants, INC.
- This plan is the result of an instrument survey performed on March 11, 14 & 15 of 2022 by Samiotes Consultants, INC.
- Owners of abutting properties are according to current assessor's records.

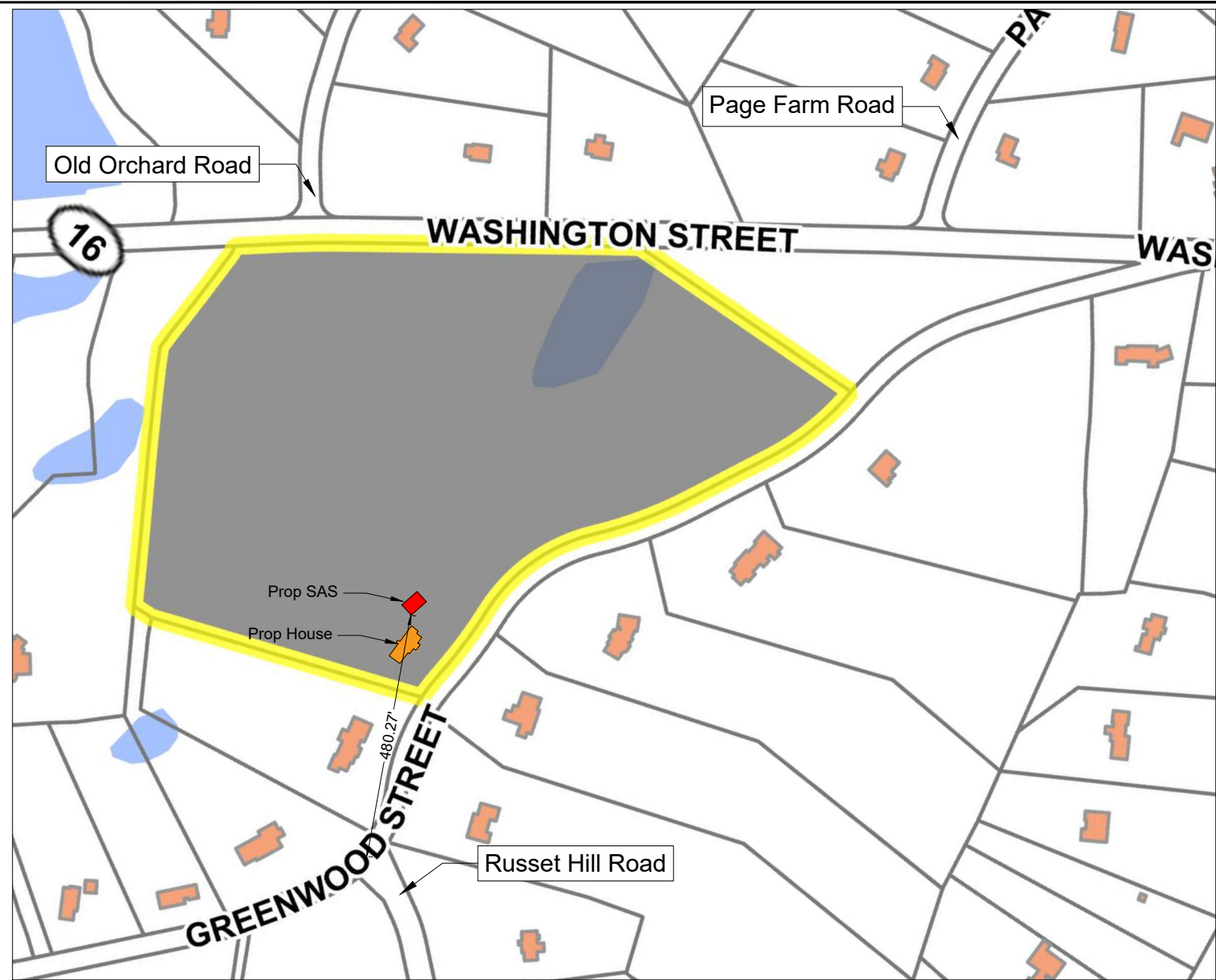
Septic Notes

- This plan is only for a new, 4-bedroom, single family house septic construction and grading purposes.
- This plan and specifications are intended to be explanatory of the work to be done for review, approval, and field construction. Should any omissions, errors, or discrepancies appear, they shall be subject to correction and interpretation by the design engineer to define and fulfill the intent of the plans according to applicable regulations and engineering principles. The Board of Health Representative shall also be notified.
- To verify that the plans being utilized for construction are current, call 774-454-0266.
- All erosion control shall be installed according to the plan prior to construction.
- Prior to execution of construction contract or commencement of construction, all B.O.H. permits and relevant Town Permits must be obtained. This plan must be approved by, and a disposal works construction permit issued by the Sherborn board of health if applicable.
- All materials and workmanship shall be in compliance with title 5 of the state sanitary code.
- An installer certification is required for the installation of the septic system.
- NO GARBAGE GRINDER IS ALLOWED FOR THIS DESIGN. PROOF OF DEED RESTRICTION IS REQUIRED BY THE BOARD OF HEALTH PRIOR TO THE RELEASE OF THE APPROVED PLAN.
- The septic tank shall be inspected annually and pumped as needed and records retained.
- Prior to construction, property lines and proposed structures shall be field staked by a Professional Land Surveyor.
- There are no other existing utilities or liens on the property except as shown on the plan, which shall be verified by DIGSAFE if they are underground.
- It shall be the responsibility of the contractor to contact all utility companies for field locations of existing underground pipes, conduits, tanks, structures, etc. Contact DIGSAFE at 1-888-344-7233 or 811.
- If conditions encountered during construction vary substantially from those shown on this plan, notify CLAWE before proceeding with construction. The Board of Health Representative shall also be notified.
- Upon completion of excavation for the leaching facility the board of health and design engineer shall be notified for inspection.
- All components are not to be backfilled or concealed without inspection by Board of Health and permission obtained by Board of Health.
- After construction, this system will be inspected by the B.O.H. and by the design engineer. After verification of the construction, the engineer will certify that the system is constructed in significant compliance with the design plan and the terms of the permit prior to the final approval of the B.O.H.
- The as-built survey and sieve analysis for the imported fill material shall be provided to the Sherborn Board of Health prior to inspection.
- It is the Contractor's responsibility to notify the design engineer and board of health for all required inspections at least 72 hours in advance.
- All loam, subsoil and other unsuitable material below the invert elevation of the leaching facility must be removed within 5 feet of the leaching area and replaced with material having a percolation rate of 2 minutes per inch or less in accordance with 310 CMR 15.255 (3).
- Limits of excavation of the soil absorption system may be made by mechanical means to assure that the soil at the bottom of the excavation area is not compacted or smeared.
- Prior to placement of the fill, the bottom surface of the excavation shall be dry and scarified. The fill be stockpiled at the edge of foundation and pushed or cast inward over excavated area. The fill shall not be placed during rain or snow storms. Dewatering is required if fill is to be placed below groundwater.
- A sieve analysis is to be completed on the "in place" imported fill and shall meet the specifications in accordance with 310 CMR 15.255 (3).
- The septic tank shall be two compartments with gas baffle and outlet filter sized in accordance with the design flow.
- Where retaining wall is required, it should be constructed to ASTM standards and 310 CMR 15.255(2).
- The leaching area and septic tank shall be located to meet all the applied setbacks and groundwater separation in the State Environmental Code 310 CMR15.211.
- All disturbed areas shall be stabilized with loam and seed.
- All construction shall follow the design plan, 310 CMR 15.00.
- The septic tank shall be maintained in accordance with 310 CMR 15.351.
- Fill material for leaching field fill shall be in compliance with 310 CMR 15.255 (3).
- Leaching fields and septic system components are not designed to stand construction equipment loading. The contractor and owner shall be responsible for preventing vehicle or heavy loading over the septic system.
- All system components shall be marked with magnetic tape for future location per 310 CMR 15.221:
 - four sides of the SAS and top of the distribution laterals;
 - envelope of the septic tank, pumping chamber, and the D-box;
 - any other I/A components.

ADDITIONAL NOTES

- Based on our record review at Sherborn Board of Health and field investigation, there are no existing wells located within 200-ft of the proposed septic leaching field unless otherwise noted on the plan.
- The proposed unit will serve a 4-bedroom single family house.
- The proposed onsite well serving the proposed residential house meet the required setback 100 ft from SAS and 50 ft from septic tank and other setback requirements per 310 CMR15.211 as shown on the plan.
- The proposed septic soil absorption system (leaching field) for the project is not located within or impacted by any easements, wetlands, vernal pools or flood zones per State Environmental code 310 CMR 15.000 as shown on the plan.
- The project is located within a nitrogen sensitive area. The parcel is 0.92 AC (40000 Sq.ft) and will accommodate the 4-bedroom design (440 gallons per day), which meets State Environmental code 310 CMR 15.000 of 440 gallons per day per acre.
- There are no bordering vegetated wetlands located within 100' of the proposed SAS as shown on the plan.
- There are no wetlands bordering surface water supply or tributaries within 200' of the SAS unless otherwise shown on the plan.
- There is no surface, foundation drain or other forms of open, surface or subsurface drains located within 100 ft of the leaching field for the project that intercept high groundwater table, nor any other forms of drains (open, surface, subsurface) intercept high groundwater.
- There is no surface water located within 150' of the SAS unless otherwise noted.
- There are no surface water supplies located within 400' of the proposed SAS unless otherwise shown.
- There are no inland banks located within 150' of the proposed SAS.

Well note: Based on our record review at Sherborn Board of Health and field investigation, there are no existing septic leaching fields located within 150-ft upgradient or downgradient of the proposed drinking water well unless otherwise noted.



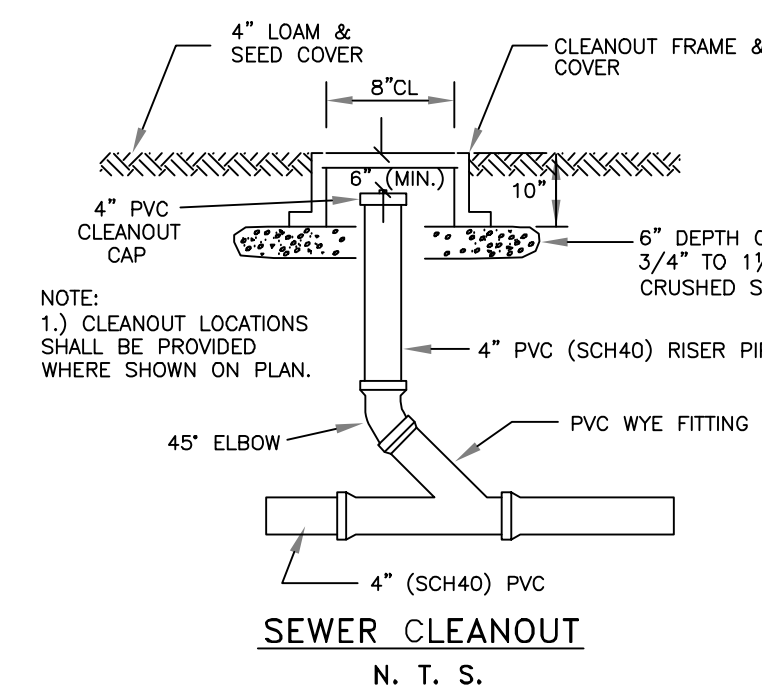
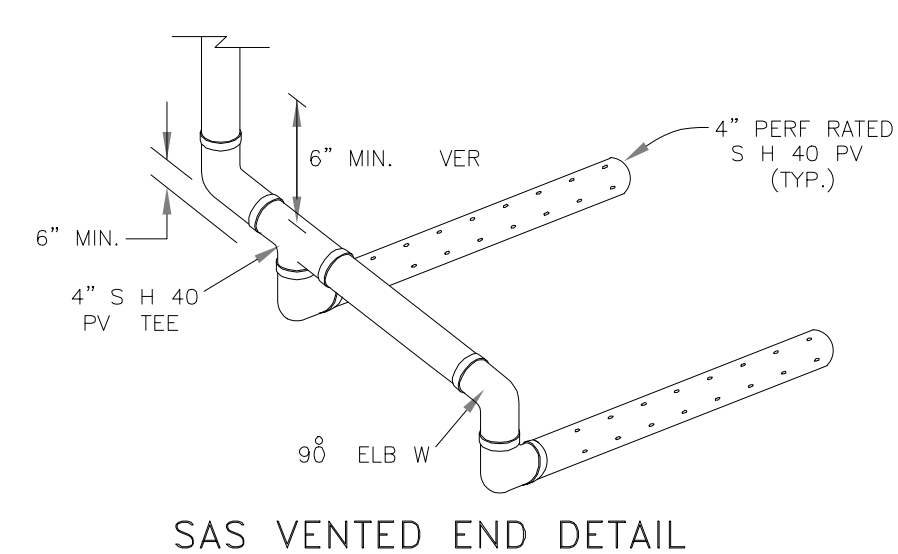
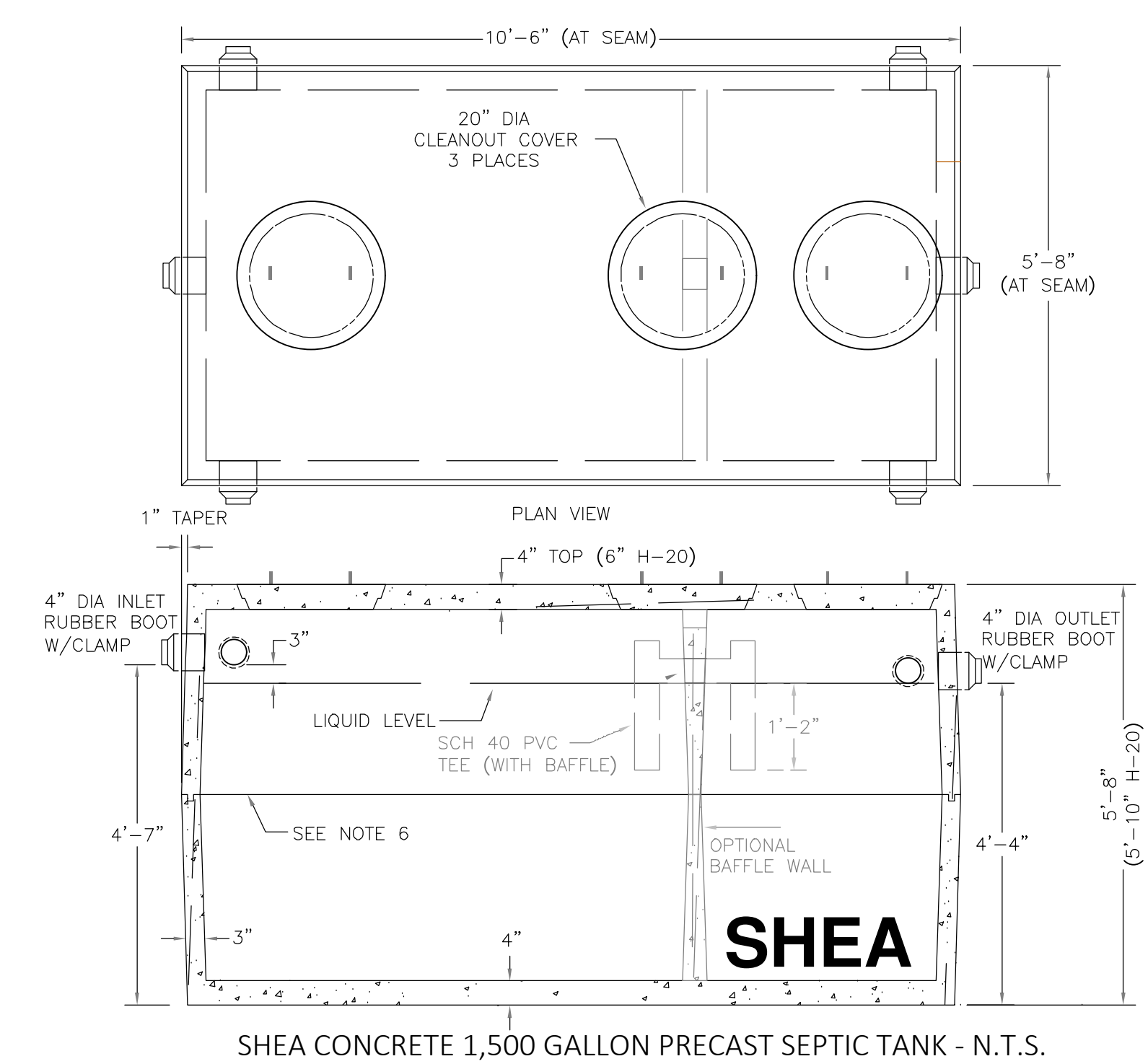
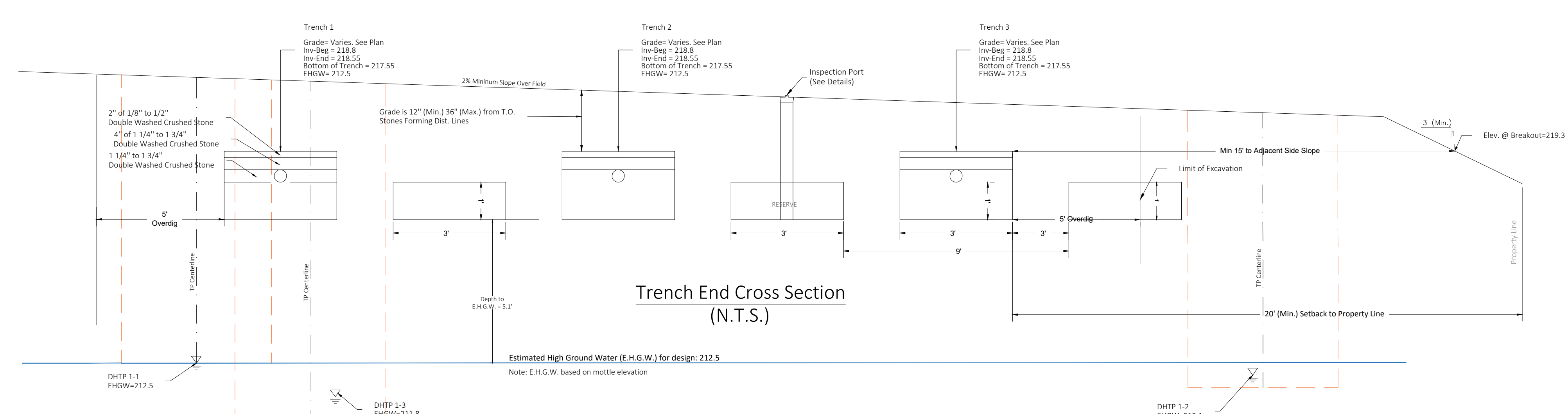
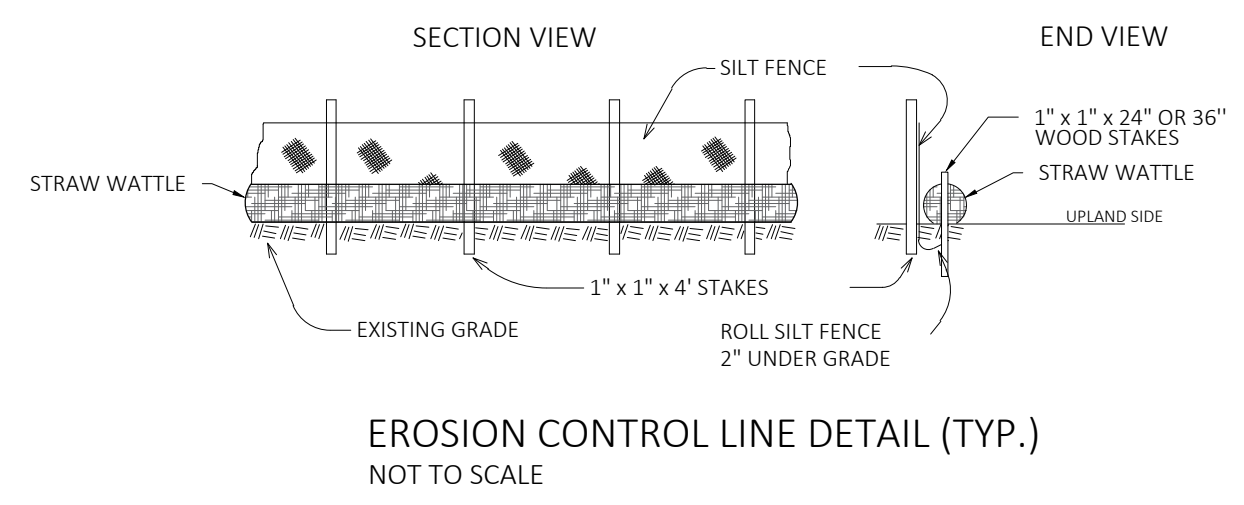
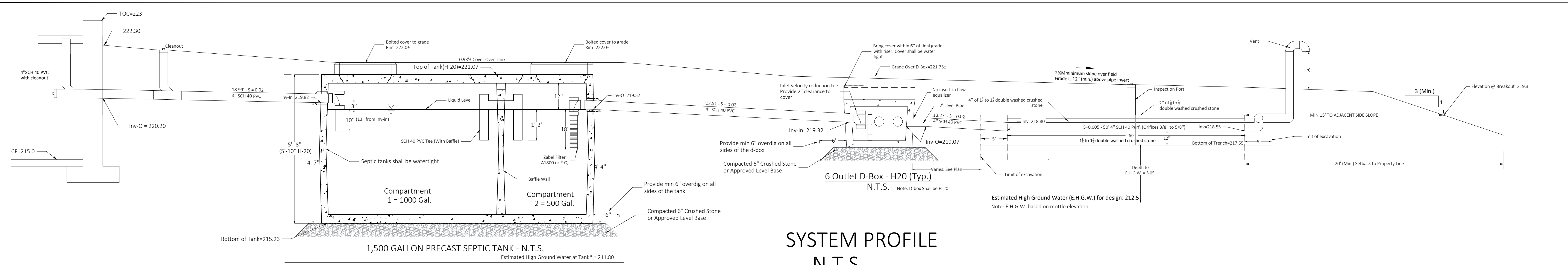
Site Locus
1"=300'


Creative Land & Water Engineering, LLC

Environmental Scientists and Engineers
P.O. Box 584 - Southborough - MA - 01772
774-454-0266 www.claweng.com

Plan Title:		Lot 1 Septic and Well Plan	
Project Name:		Greenwood Street Homes	
Site Address:		0 Washington St (Map 7, Lot 49) - Sherborn, MA	
Owner:		AB Realty Trust	Client: Robert Murchison
Project No:	J269-19a	Drawn by:	FA
Designed by:	DSW/WFA	Approved by:	DSW
Date:	12/05/23	Scale:	Indicated
Rev.:	2	Description:	Leaching field, minor grading around SAS
Date:	12/05/23	Description:	General notes, house and driveway, grading, septic inverts & features
Rev.:	1	Description:	General notes, house and driveway, grading, septic inverts & features
Date:	12/05/23	Description:	General notes, house and driveway, grading, septic inverts & features





SOIL EXAMINATIONS					
Performed By:	Desheng Wang		Date:	12/2/2022 & 12/5/2022	
Witnessed By:	Mark Oram				
Test Pit #					
DHTP 1-1 (12/2/2022)		DHTP 1-2 (12/2/2022)		DHTP 1-3 (12/5/2022)	
Surface Elevation (ft)	219.50	Surface Elevation (ft)	219.10	Surface Elevation (ft)	217.30
0"	-	0"	-	0"	-
4" (Elev= 219.17)	(A) S.L. - 10 YR 3/2 Friable	4" (Elev= 218.77)	(A) S.L. - 10 YR 3/2 Friable	4" (Elev= 216.97)	(A) S.L. - 10 YR 3/2 Friable
30" (Elev= 217.0)	(Bw) S.L. - 2.5 Y 6/6 Friable	24" (Elev= 217.1)	(Bw) S.L.-L.S. 2.5 Y 6/6 Friable	36" (Elev= 214.3)	(Bw) S.L.-L.S. 10 YR 6/6 Friable, Urg Bldrs
132" (Elev= 208.5)	Mottles 10 YR 6/8 (C) S.L. - L.S 2.5 Y 6/4 Fri - Firm	100" (Elev= 210.77)	Mottles 10 YR 6/8 (C) M.L.S 2.5 Y 5/4 Fri - Firm	106" (Elev= 208.47)	Mottles 10 YR 6/8 (C) F.M.L.S-S 2.5 Y 6/4 Fri - Firm
132"± (Elev= 208.5)	Cr	100"± (Elev=210.77)	Cr	106"± (Elev= 208.47)	Cr
Percolation Depth (in) =	42"	-	60"	Deephole Only	
Start/End Pre-Soak =	2:44PM/2:59 PM	-	4:01PM/4:16PM	-	-
Time at 12"	2:59 PM	-	4:16 PM	-	-
Time at 11"	3:01 PM	-	4:17 PM	-	-
Time at 10"	3:05 PM	-	4:18 PM	-	-
Time at 9"	3:09 PM	-	4:20 PM	-	-
Time at 8"	3:14 PM	-	4:22 PM	-	-
Time at 7"	3:19 PM	-	4:25 PM	-	-
Time at 6"	3:24 AM	-	4:28 PM	-	-
Time (9"-6")	15 Min	-	8 Min	-	-
Percolation Rate (MPI.) =	5	-	3	-	-
Depth to E.H.G.W. (in) =	84	-	84	-	66
Mottles Observed at (in)	84	-	84	-	66
Weeping (in)	None	-	None	-	None
Standing Water (in)	None	-	None	-	None
Groundwater adjustment (ft)		-		-	
Adjusted depth to GW (ft):		-		-	
Est. G.W. Elev., (ft) (By Mottles)	212.50	-	212.10	-	211.80
Facility to be Served 4 Bedroom Single family house					
Required Design					
Bedroom #:	4 x 110	gal/bm		440 GPD	
Garbage Disposal Provided	___ YES ___ NO			GPD	
Total Required Design (GPD)				440 GPD	
Grease Trap: Not Required					
90-seat restaurant:	0 X 15	gal/seat		GPD	
Grease trap volume:				GPD	
Septic tank:					
Two-compartment				1500 GPD	
ZABEL Filter A1800	___X___ YES ___ NO				
Total Required Design (GPD)				1500 GPD	
Soil Absorption System (use 1' Deep x 3' Wide trenches)					
Design Percolation Rate	5	MPI	ELR	0.6 gal/sq ft/day	
Soil Texture Classification	Use Class I Soils				
Min. center to center pipe spacing:	12 ft		use	→12 ft	
Trench depth:	12-24 in		use	→ 1 ft	
Trench width:	2-3 ft		use	→ 3 ft	
Min. trench length:	146.67 ft		use	→ 150.00 ft	
Limit of length:	100 ft		use	→ 50.0 ft per line	
Number of lines:	3		use	→ 3	
Design effluent treatment capacity	450	gpd	>440 gpd OK		
Soil Evaluator Certification:					
I certify that on June 8, 1995 I have passed the soil evaluator examination approved by the Department of Environmental Protection and that all soil evaluation and analysis was performed by me consistent with the required training, expertise and experience described in 310 CMR 15.017. My certificate number is SE2545.					
					

Creative Land & Water Engineering, LLC

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P.O. Box 584 - Southborough - MA - 01772

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Plan Title:

Lot 1 Septic and Well Plan

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Greenwood Street Homes

Site Address:

0 Washington St (Map 7, Lot 49) - Sherborn, MA

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AB Realty Trust

Client:

Robert Murchison

Project No:

J269-19a

Drawn by:

FA

Date:

10/18/23

Sheet No:

2 of 2

Designed by:

DSW/FA

Approved by:

DSW

Scale:

Indicated

2

12/18/23

Leaching field, minor grading around SAS

DSW/FA

1

12/05/23

General notes, house and driveway, grading, septic inverts & features

DSW/FA

Rev.:

Date:

Description

By:

DESIGNED BY: DESHENG WANG

CHECKED BY: DESHENG WANG

DATE: 10/18/23

PROJECT: GREENWOOD STREET HOMES

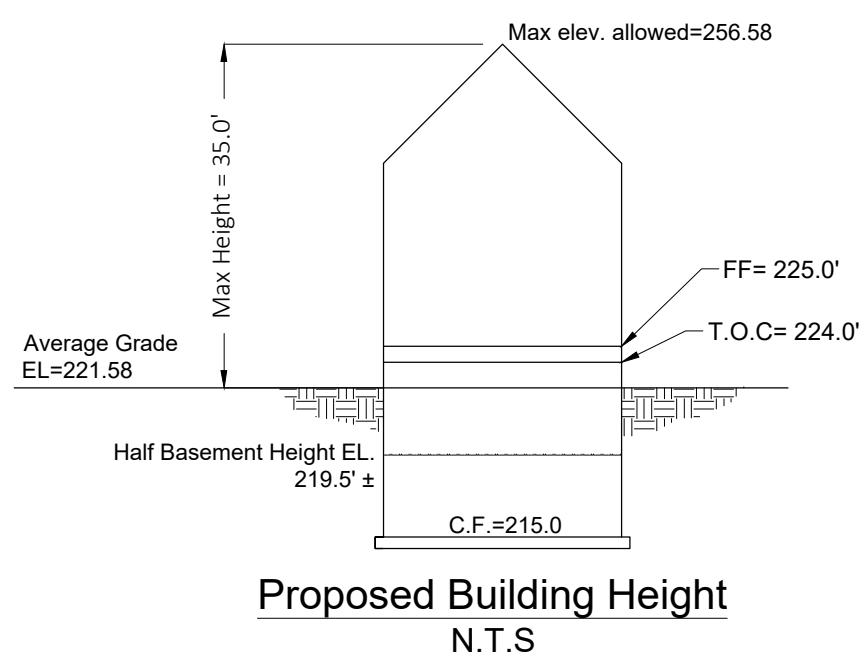
SCALE: AS SHOWN

PROJECT NO: J269-19a

SHEET NO: 2 OF 2

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© CREATIVE LAND & WATER ENGINEERING, LLC. UNAUTHORIZED USE IS STRICTLY PROHIBITED. J269-19a



Section	Location description	Section L, ft	Elev. G, ft	LxG
1	Landing	22	224.5	4939.00
2	Ret. wall terrace	10	218.5	2185.00
3	Walkout	39.03	214.5	8371.94
4	The rest estimated	141	223.3	31485.30
	Total	212.03	-	46981.24
Average Grade=				221.58

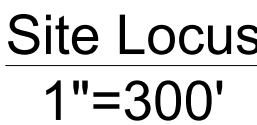
Item	AB	Proposed	Waiver Required (Yes, No)
Minimum Lot Area	2 acres	0.92 acres	Yes
Minimum Frontage	200 feet	200 feet	No
Minimum Lot Width	200 feet	195.68 feet	Yes
Minimum Lot Depth	n/a	n/a	n/a
Minimum Front Setback	60 feet	79.00 feet	No
Minimum Side Setback	40 feet	41.97 feet	No
Minimum Rear Setback	30 feet	85.10 feet	No
Maximum Height (stories)	2.5 stories	2.5 stories	No
Maximum Height (feet)	35	<35	No
Maximum Lot Coverage	n/a	n/a	n/a

1. Record owner is AB Realty Trust of 7 Saint Joseph St, Hyannis, MA 02601. See Middlesex County Registry of Deeds Book 25396, Page 417 and Sherborn Assessor's Map 7, Lot 49 for records.
2. The Zoning district for the parcel is RB.
3. The lot is shown in a FEMA Federal Hazard Zone "X" (unshaded), area of minimal flood hazard and outside the 0.2% annual chance floodplain. FIRM 25017C0632E, Effective 06/04/2010.
4. This plan is only for the purpose of comprehensive permitting.
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6. The Horizontal Datum was based on NAD 83.
7. Existing site details are based on the plan titled "Plan of Land" by Samioies Consultants, INC., dated January 11, 2023.
8. This plan is referenced vertically to the North American Vertical Datum of 1988 by RTK GPS observations taken on March 11, 14 & 15 of 2022 by Samioies Consultants, INC.
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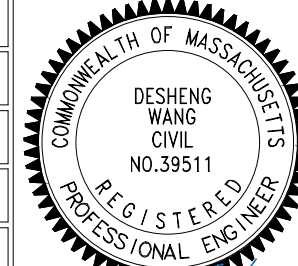
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2. This plan and specifications are intended to be explanatory of the work to be done for review, approval, and field construction. Should any omissions, errors, or discrepancies appear, they shall be subject to correction and interpretation by the design engineer to define and fulfill the intent of the plans according to applicable regulations and engineering principles. The Board of Health Representative shall also be notified.
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6. All materials and workmanship shall be in compliance with title 5 of the state sanitary code.
7. An installer certification is required for the installation of the septic system.
8. NO GARBAGE GRINDER IS ALLOWED FOR THIS DESIGN. PROOF OF DEED RESTRICTION IS REQUIRED BY THE BOARD OF HEALTH PRIOR TO THE RELEASE OF THE APPROVED PLAN.
9. The septic tank shall be inspected annually and pumped as needed and records retained.
10. Prior to construction, property lines and proposed structures shall be field staked by a Professional Land Surveyor.
11. There are no other existing utilities or liens on the property except as shown on the plan, which shall be verified by DIGSAFE if they are underground.
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13. If conditions encountered during construction vary substantially from those shown on this plan, notify CLAWE before proceeding with construction. The Board of Health Representative shall also be notified.
14. Upon completion of excavation for the leaching facility the board of health and design engineer shall be notified for inspection.
15. All components are not to be backfilled or concealed without inspection by Board of Health and permission obtained by Board of Health.
16. After construction, this system will be inspected by the B.O.H. and by the design engineer. After verification of the construction, the engineer will certify that the system is constructed in significant compliance with the design plan and the terms of the permit prior to the final approval of the B.O.H.
17. The as-built survey and sieve analysis for the imported fill material shall be provided to the Sherborn Board of Health prior to inspection.
18. It is the Contractor's responsibility to notify the design engineer and board of health for all required inspections at least 72 hours in advance.
19. All loam, subsoil and other unsuitable material below the invert elevation of the leaching facility must be removed within 5 feet of the leaching area and replaced with material having a percolation rate of 2 minutes per inch or less in accordance with 310 CMR 15.255 (3).
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28. The septic tank shall be maintained in accordance with 310 CMR 15.251.
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 - b) envelope of the septic tank, pumping chamber, and the D-box;
 - c) any other I/A components.

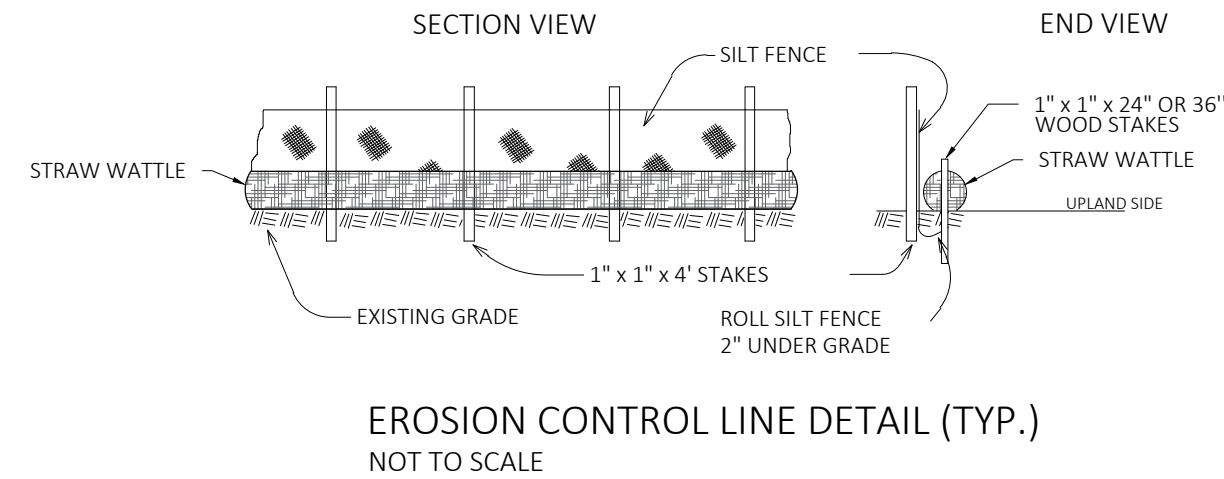

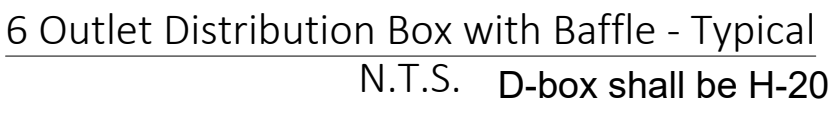
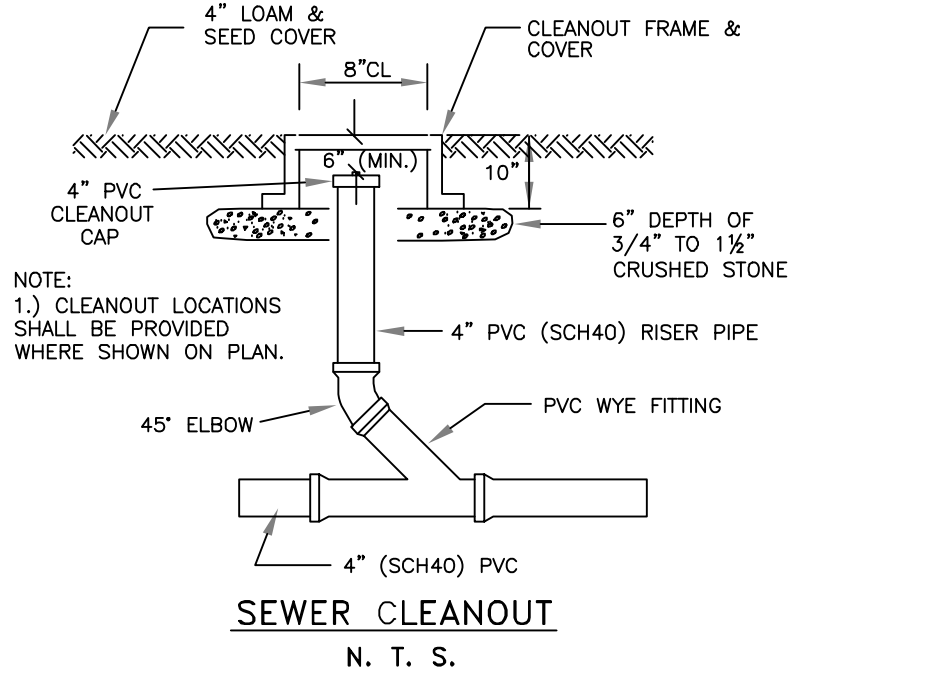
1. Based on our record review at Sherborn Board of Health and field investigation, there are no existing wells located within 200'-ft of the proposed septic leaching field unless otherwise noted on the plan.
2. The proposed unit will serve a 4-bedroom single family house.
3. The proposed onsite well serving the proposed residential house meet the required setback 100 ft from SAS and 50 ft from septic tank and other setback requirements per 310 CMR.15.211 as shown on the plan.
4. The proposed septic soil absorption system (leaching field) for the project is not located within or impacted by any easements, wetlands, vernal pools or flood zones per State Environmental code 310 CMR 15.000 as shown on the plan.
5. The project is located within a nitrogen sensitive area. The parcel is 0.92 AC (40000 Sq.ft) and will accommodate the 4-bedroom design (440 gallons per day), which meets State Environmental code 310 CMR 15.000 of 440 gallons per day per acre.
6. There are no bordering vegetated wetlands located within 100' of the proposed SAS as shown on the plan.
7. There are no wetlands bordering surface water supply or tributaries within 200' of the SAS unless otherwise shown on the plan.
8. There is no surface, foundation drain or other forms of open, surface or subsurface drains located within 100 ft of the leaching field for the project that intercept high groundwater table, nor any other forms of drains (open, surface, subsurface) intercept high groundwater.
9. There is no surface water located within 150' of the SAS unless otherwise noted.
10. There are no surface water supplies located within 400' of the proposed SAS unless otherwise shown.
11. There are no inland banks located within 150' of the proposed SAS.

Well note: Based on our record review at Sherborn Board of Health and field investigation, there are no existing septic leaching fields located within 150-ft upgradient or downgradient of the proposed drinking water well unless otherwise noted.



Creative Land & Water Engineering, LLC
Environmental Scientists and Engineers
P.O. Box 584 - Southborough - MA - 01772
774-454-0266 www.claweng.com

Plan Title:		Lot 2 Septic and Well Plan				
Project Name:		Greenwood Street Homes				
Site Address:		0 Washington St (Map 7, Lot 49) - Sherborn, MA				
Owner:		AB Realty Trust		Client: Robert Murchison		
Project No: J269-19a		Drawn by: FA		Date: 10/18/23		
Sheet No: 1 of 2						
Designed by: DSW/FA		Approved by: DSW		Scale: Indicated		
						
2	12/18/23	Leaching field, minor grading around SAS				DSW/FA
1	12/05/23	General notes, house and driveway, grading, septic inverts & features				DSW/FA
Rev.:	Date:	Description				By:

C:\Users\clawel\OneDrive\Jobs\Sherborn\J269-19 Greenwood & Washington\Drafting

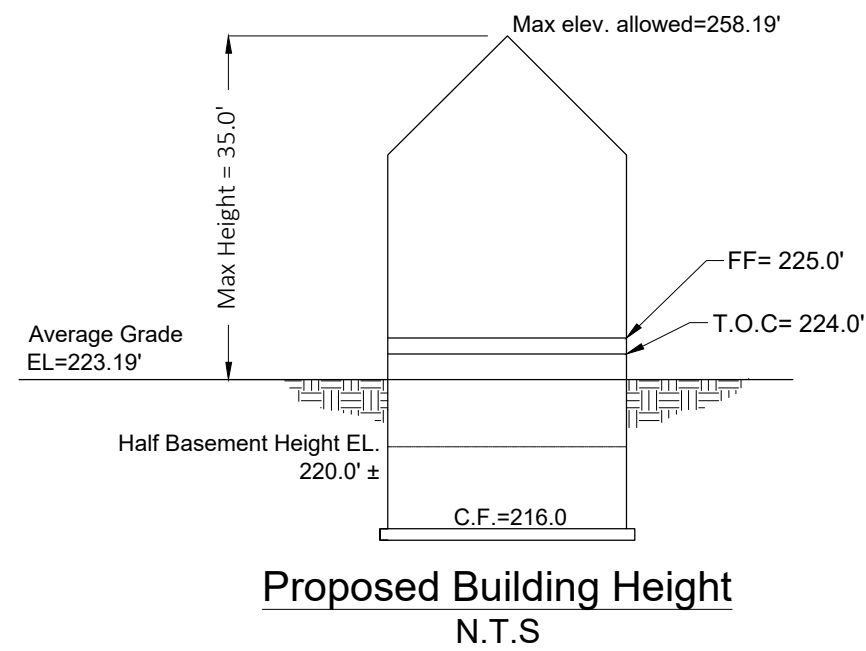
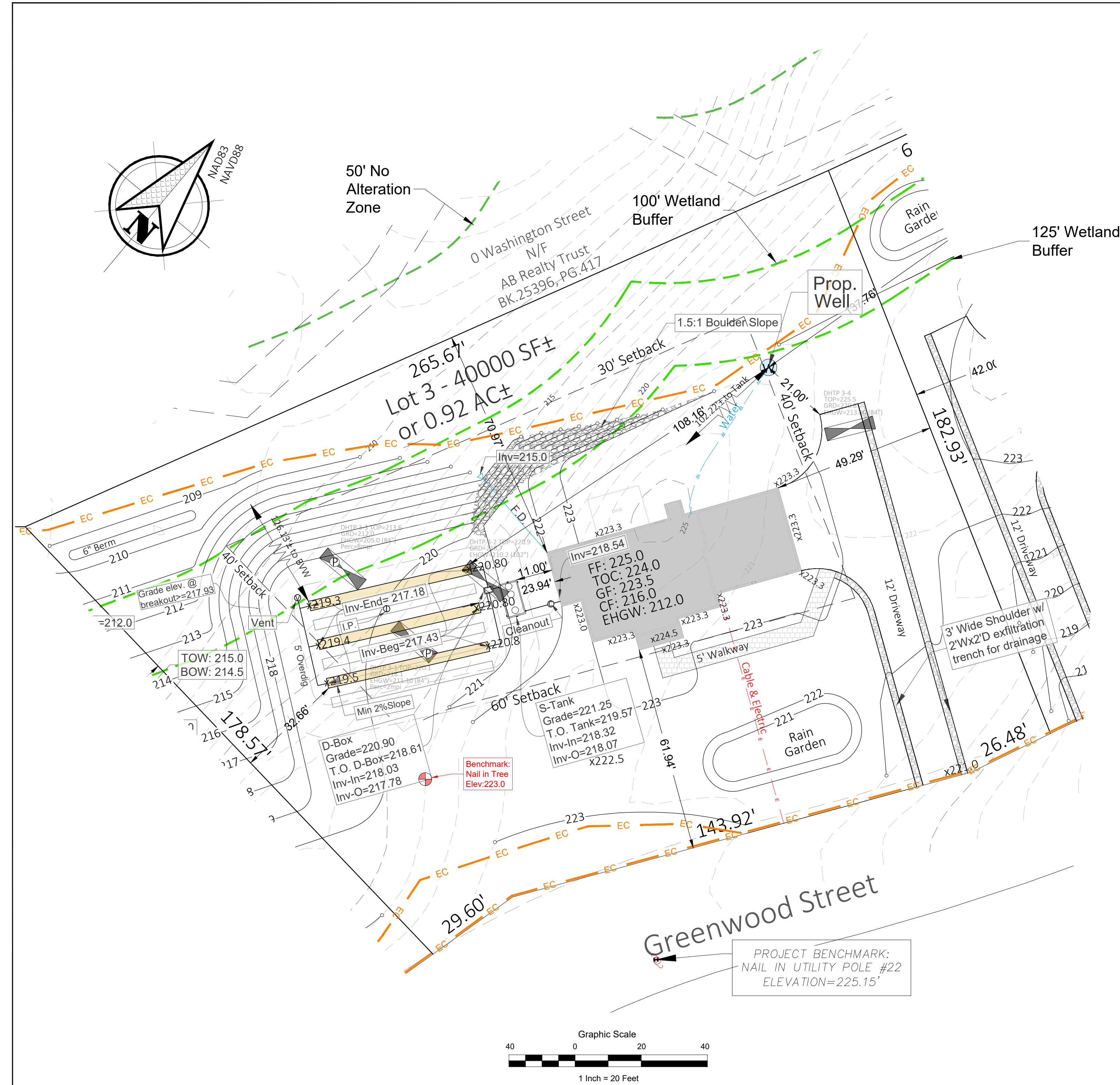


Table 1. Lowest Average Finished Grade (for building Permit)				
Section	Location description	Section L, ft	Elev. G, ft	LxG
1	Landing	22	224.5	4939.00
2	S.E. Wall side	39.19	222	8700.18
4	The rest estimated	165.04	223.3	36853.43
Total		226.23	-	50492.61
Average Grade=				223.19

Table 2. Zoning Compliance Summary (Sherborn Residential B District)			
Item	RB	Proposed	Waiver Required (Yes, No)
Minimum Lot Area	2 acres	0.92 acres	Yes
Minimum Frontage	200 feet	200 feet	No
Minimum Lot Width	200 feet	221.0 feet	Yes
Minimum Lot Depth	n/a	n/a	n/a
Minimum Front Setback	60 feet	61.94 feet	No
Minimum Side Setback	40 feet	49.29 feet	No
Minimum Rear Setback	30 feet	70.97 feet	No
Maximum Height (stories)	2.5 stories	2.5 stories	No
Maximum Height (feet)	35	<35	No
Maximum Lot Coverage	n/a	n/a	n/a

General Notes

- Record owner is AB Realty Trust of 7 Saint Joseph St, Hyannis, MA 02601. See Middlesex County Registry of Deeds Book 25396, Page 417 and Sherborn Assessor's Map 7, Lot 49 for records.
- The Zoning district for the parcel is RB.
- The lot is shown in a FEMA Federal Hazard Zone "X" (unshaded), area of minimal flood hazard and outside the 0.2% annual chance floodplain. FIRM 25017C0632E, Effective 06/04/2010.
- This plan is only for the purpose of comprehensive permitting.
- The Wetland Delineation was conducted by Creative Land & Water Engineering, LLC. on February 24 and on March 3, 4, 8, and 14 of 2022 and approved by Sherborn Conservation Commission on October 11, 2022, DEP file 283-0437.
- The Horizontal Datum was based on NAD 83.
- Existing site details are based on the plan titled "Plan of Land" by Samiotes Consultants, INC., dated January 11, 2023.
- This plan is referenced vertically to the North American Vertical Datum of 1988 by RTK GPS observations taken on March 11, 14 & 15 of 2022 by Samiotes Consultants, INC.
- This plan is the result of an instrument survey performed on March 11, 14 & 15 of 2022 by Samiotes Consultants, INC.
- Owners of abutting properties are according to current assessor's records.

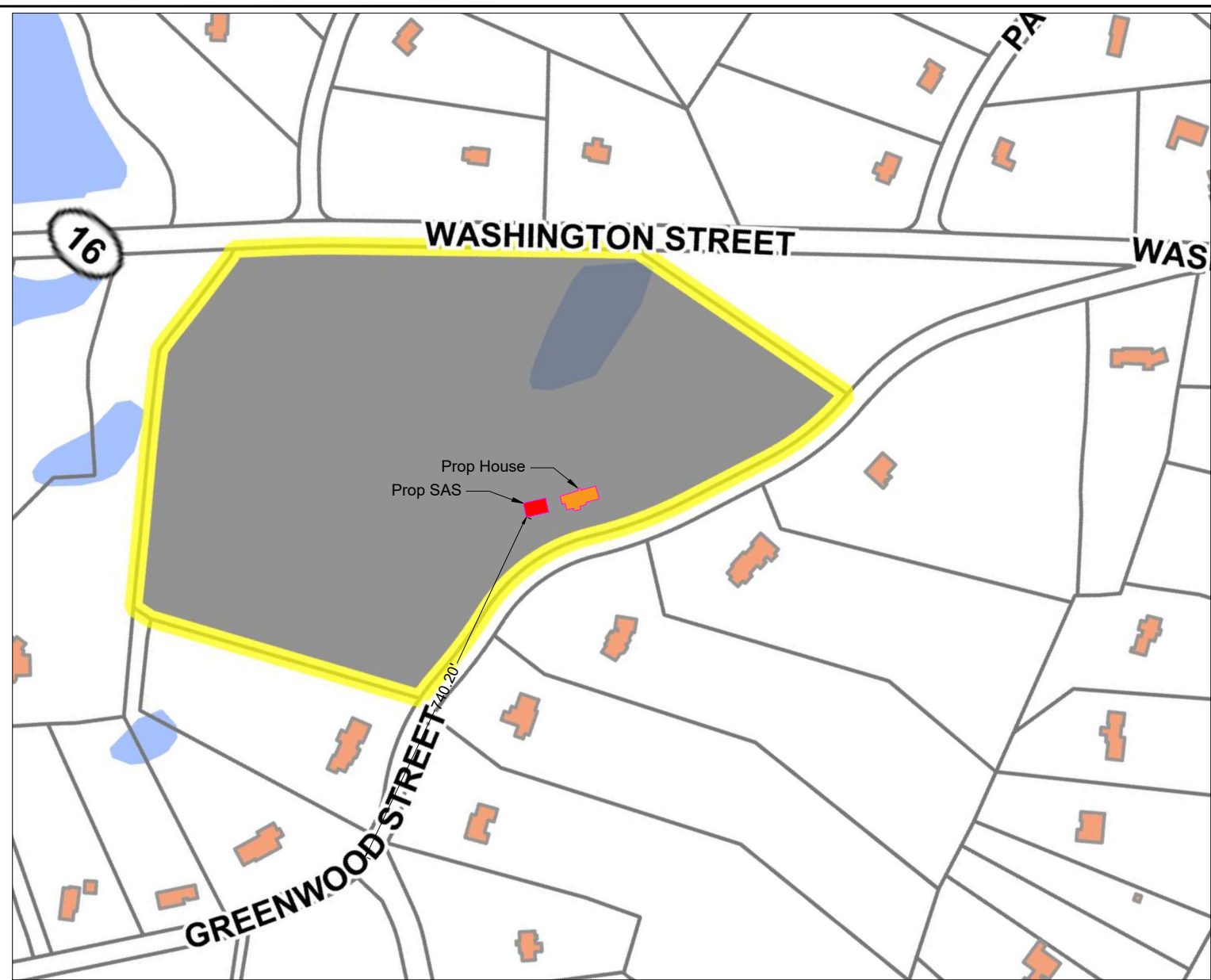
Septic Notes

- This plan is only for a new, 4-bedroom, single family house septic construction and grading purposes.
- This plan and specifications are intended to be explanatory of the work to be done for review, approval, and field construction. Should any omissions, errors, or discrepancies appear, they shall be subject to correction and interpretation by the design engineer to define and fulfill the intent of the plans according to applicable regulations and engineering principles. The Board of Health Representative shall also be notified.
- To verify that the plans being utilized for construction are current, call 774-454-0266.
- All erosion control shall be installed according to the plan prior to construction.
- Prior to execution of construction contract or commencement of construction, all B.O.H. permits and relevant Town Permits must be obtained. This plan must be approved by, and a disposal works construction permit issued by the Sherborn board of health if applicable.
- All materials and workmanship shall be in compliance with title 5 of the state sanitary code.
- An installer certification is required for the installation of the septic system.
- NO GARBAGE GRINDER IS ALLOWED FOR THIS DESIGN. PROOF OF DEED RESTRICTION IS REQUIRED BY THE BOARD OF HEALTH PRIOR TO THE RELEASE OF THE APPROVED PLAN.
- The septic tank shall be inspected annually and pumped as needed and records retained.
- Prior to construction, property lines and proposed structures shall be field staked by a Professional Land Surveyor.
- There are no other existing utilities or liens on the property except as shown on the plan, which shall be verified by DIGSAFE if they are underground.
- It shall be the responsibility of the contractor to contact all utility companies for field locations of existing underground pipes, conduits, tanks, structures, etc. Contact DIGSAFE at 1-888-344-7233 or 811.
- If conditions encountered during construction vary substantially from those shown on this plan, notify CLAWC before proceeding with construction. The Board of Health Representative shall also be notified.
- Upon completion of excavation for the leaching facility the board of health and design engineer shall be notified for inspection.
- All components are not to be backfilled or concealed without inspection by Board of Health and permission obtained by Board of Health.
- After construction, this system will be inspected by the B.O.H. and by the design engineer. After verification of the construction, the engineer will certify that the system is constructed in significant compliance with the design plan and the terms of the permit prior to the final approval of the B.O.H.
- The as-built survey and sieve analysis for the imported fill material shall be provided to the Sherborn Board of Health prior to inspection.
- It is the Contractor's responsibility to notify the design engineer and board of health for all required inspections at least 72 hours in advance.
- All loam, subsoil and other unsuitable material below the invert elevation of the leaching facility must be removed within 5 feet of the leaching area and replaced with material having a percolation rate of 2 minutes per inch or less in accordance with 310 CMR 15.255 (3).
- Limits of excavation of the soil absorption system may be made by mechanical means to assure that the soil at the bottom of the excavation area is not compacted or smeared.
- Prior to placement of the fill, the bottom surface of the excavation shall be dry and scarified. The fill be stockpiled at the edge of foundation and pushed or cast inward over excavated area. The fill shall not be placed during rain or snow storms. Dewatering is required if fill is to be placed below groundwater.
- A sieve analysis is to be completed on the "in place" imported fill and shall meet the specifications in accordance with 310 CMR 15.255 (3).
- The septic tank shall be two compartments with gas baffle and outlet filter sized in accordance with the design flow.
- Where retaining wall is required, it should be constructed to ASTM standards and 310 CMR 15.255(2).
- The leaching area and septic tank shall be located to meet all the applied setbacks and groundwater separation in the State Environmental Code 310 CMR15.211.
- All disturbed areas shall be stabilized with loam and seed.
- All construction shall follow the design plan, 310 CMR 15.00.
- The septic tank shall be maintained in accordance with 310 CMR 15.351.
- Fill material for leaching field fill shall be in compliance with 310 CMR 15.255 (3).
- Leaching fields and septic system components are not designed to stand construction equipment loading. The contractor and owner shall be responsible for preventing vehicle or heavy loading over the septic system.
- All system components shall be marked with magnetic tape for future location per 310 CMR 15.221:
 - four sides of the SAS and top of the distribution laterals;
 - envelope of the septic tank, pumping chamber, and the D-box;
 - any other I/A components.

ADDITIONAL NOTES

- Based on our record review at Sherborn Board of Health and field investigation, there are no existing wells located within 200-ft of the proposed septic leaching field unless otherwise noted on the plan.
- The proposed unit will serve a 4-bedroom single family house.
- The proposed onsite well serving the proposed residential house meet the required setback 100 ft from SAS and 50 ft from septic tank and other setback requirements per 310 CMR15.211 as shown on the plan.
- The proposed septic soil absorption system (leaching field) for the project is not located within or impacted by any easements, wetlands, vernal pools or flood zones per State Environmental code 310 CMR 15.000 as shown on the plan.
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- There are no bordering vegetated wetlands located within 100' of the proposed SAS as shown on the plan.
- There are no wetlands bordering surface water supply or tributaries within 200' of the SAS unless otherwise shown on the plan.
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- There is no surface water located within 150' of the SAS unless otherwise noted.
- There are no surface water supplies located within 400' of the proposed SAS unless otherwise shown.
- There are no inland banks located within 150' of the proposed SAS.

Well note: Based on our record review at Sherborn Board of Health and field investigation, there are no existing septic leaching fields located within 150-ft upgradient or downgradient of the proposed drinking water well unless otherwise noted.



Site Locus
1"=300'

Creative Land & Water Engineering, LLC

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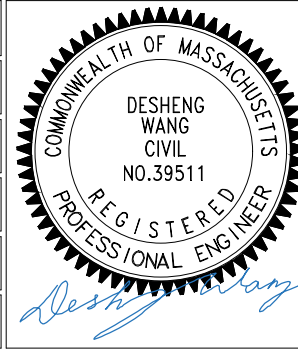
Plan Title: Lot 3 Septic and Well Plan
Project Name: Greenwood Street Homes
Site Address: 0 Washington St (Map 7, Lot 49) - Sherborn, MA

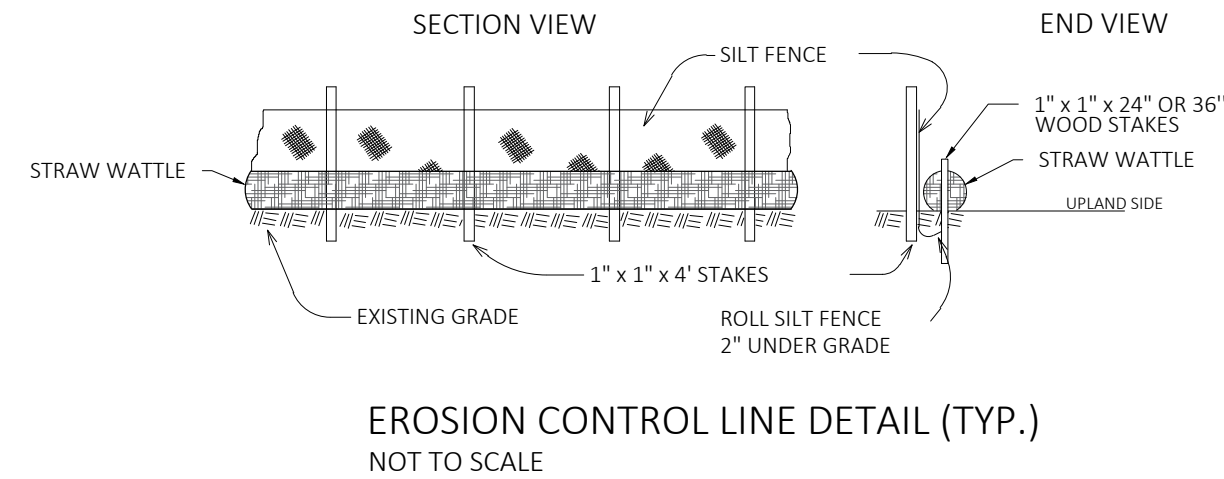
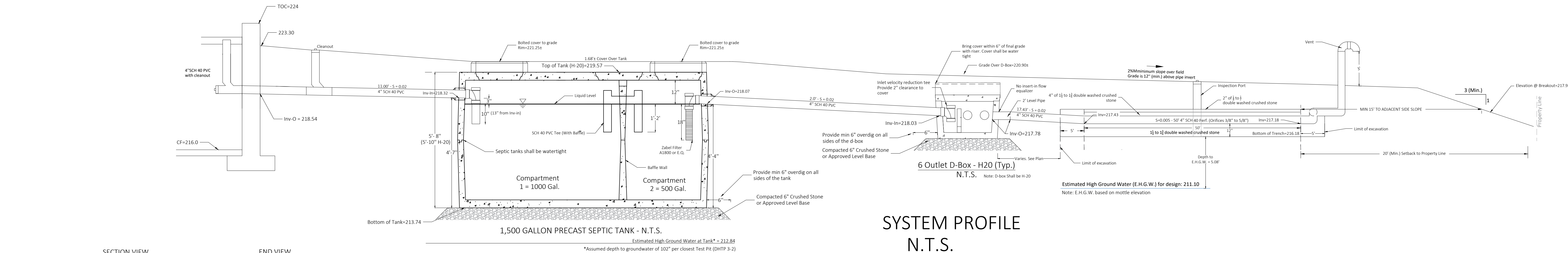
Owner: AB Realty Trust Client: Robert Murchison


Project No: J269-19a Drawn by: FA Date: 10/18/23 Sheet No: 1 of 2

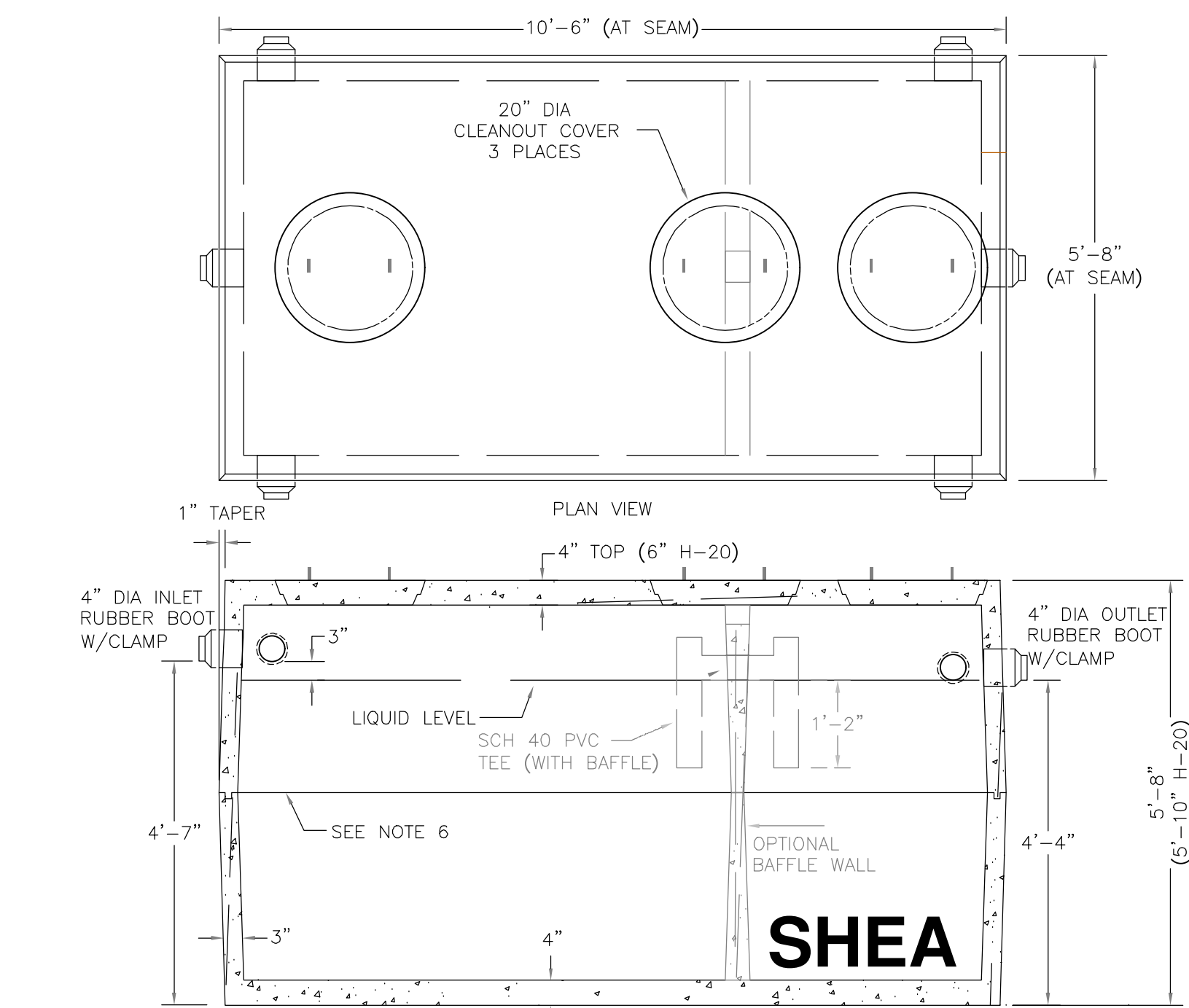
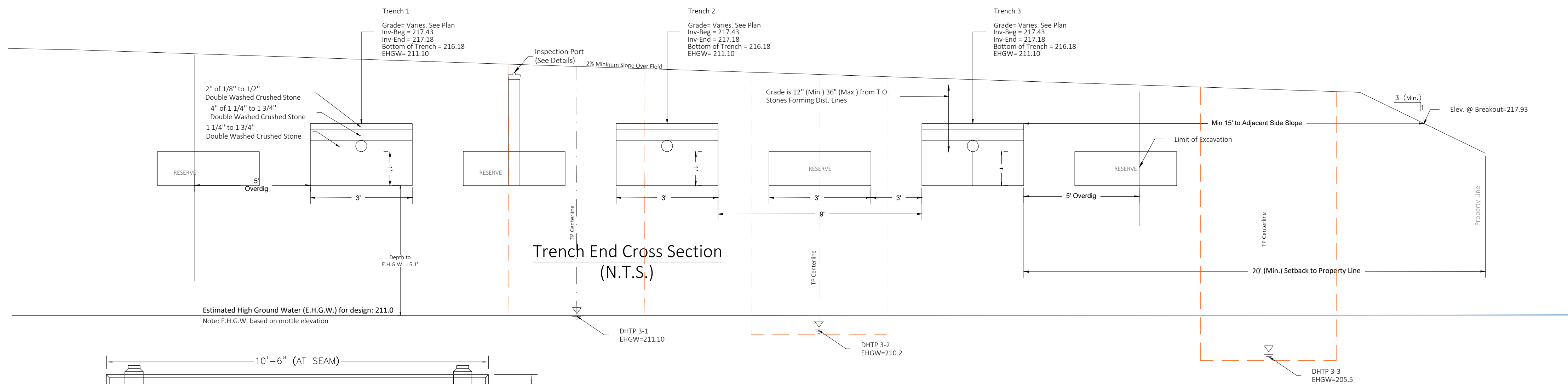
Designed by: DSW/FA Approved by: DSW Scale: Indicated

Rev.:	Date:	Description	By:
2	12/18/23	Minor SAS updates: septic tank, dbox, leaching field, grading	DSW/FA
1	12/05/23	General notes, septic features	DSW/FA

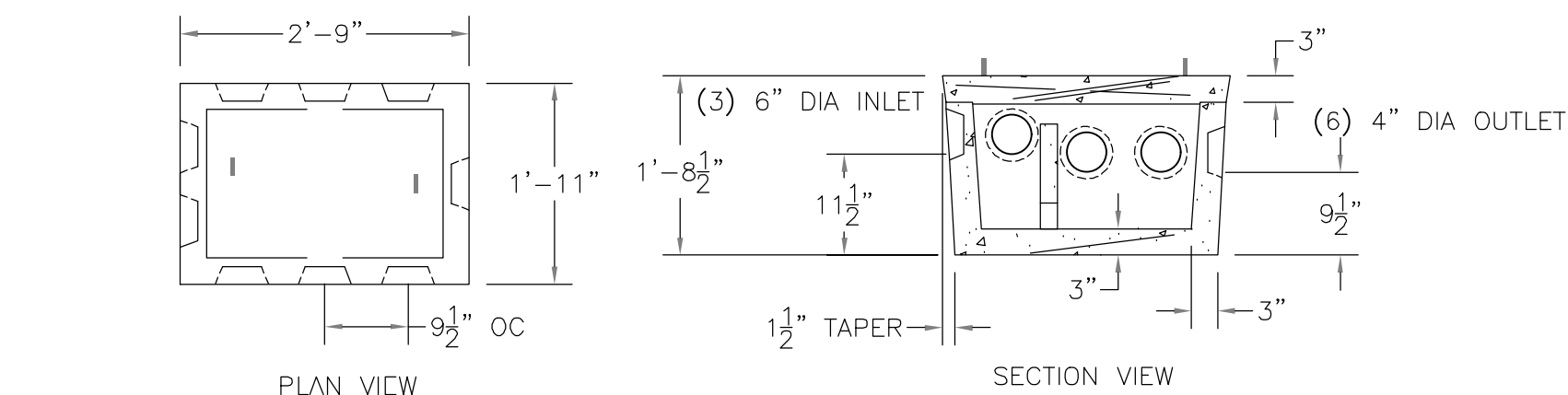




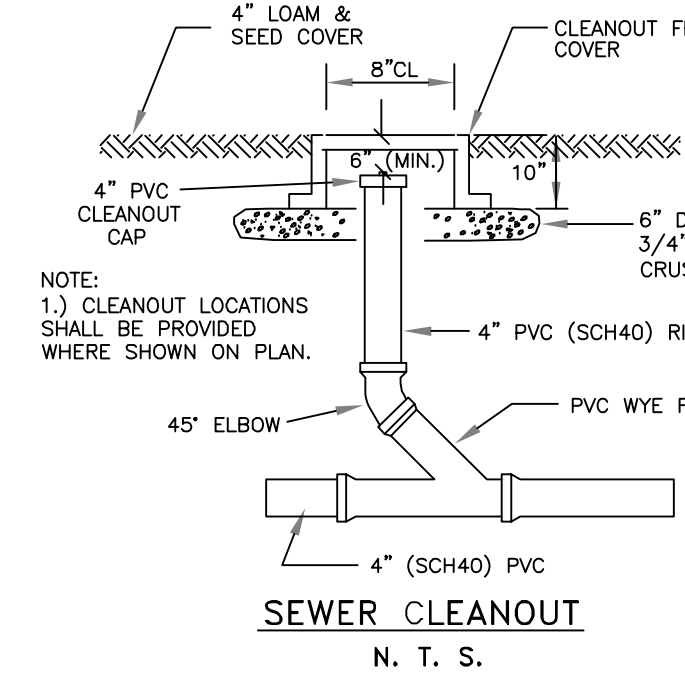
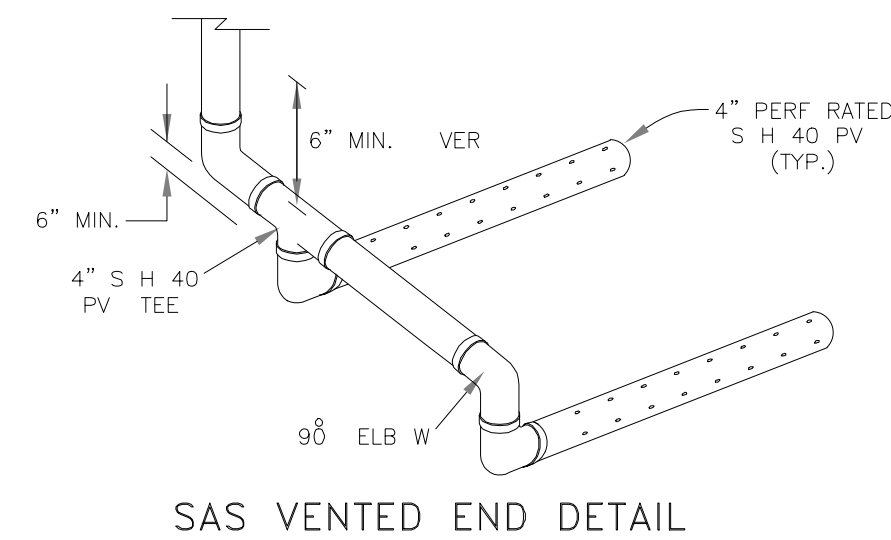
SOIL EXAMINATIONS					
Performed By:	Desheng Wang		Date:	12/1/2022 & 12/2/2022	
Witnessed By:	Mark Oram				
Test Pit #					
DHTP 3-1 (12/1/2022)		DHTP 3-2 (12/1/2022)		DHTP 3-3 (12/2/2022)	
Surface Elevation (ft)	218.10	Surface Elevation (ft)	218.70	Surface Elevation (ft)	212.00
0"	-	0"	-	0"	-
(A)		(A)		(A)	
3" (Elev=217.85)	S.L. - 10 YR 3/2 Friable	4" (Elev=218.36)	S.L. - 10 YR 3/2 Friable	4" (Elev=211.66)	S.L. - 10 YR 3/2 Friable
(Bw)		(Bw)		(Bw)	
24" (Elev=216.10)	F.L.S. 10 YR 6/6 Friable Mottles 10 YR 5/8 2.5 Y 7/2	36" (Elev=215.7)	L.S. 10 YR 6/6 Friable Mottles 10 YR 6/8	36" (Elev=209.0)	F.L.S. 10 YR 6/6 Friable Mottles 10 YR 6/8
(C)		(C)		(C)	
84" (Elev=211.1)	S.L.- L.S. 2.5 Y 6/4 Stony. Bldrs	108" (Elev=209.7)	M.L.S. 2.5 Y 6/4 Loose	108" (Elev=203.0)	M.L.S. 2.5 Y 6/4 Firm
84"+ (Elev=211.1)	Cr	108"+ (Elev=209.7)	Cr	108"+ (Elev=203.0)	
Percolation Depth (in) =	21	Deephole Only	-	60"	
Start/End Pre-Soak =	1:50 pm/2:05 pm	-	-	12:00 pm/12:15 pm	
Time at 12"	2:05 pm	-	-	12:17 pm	
Time at 11"	2:06 pm	-	-	12:17 pm	
Time at 10"	2:07 pm	-	-	12:21 pm	
Time at 9"	2:09 pm	-	-	12:25 pm	
Time at 8"	2:10 pm	-	-	12:32 pm	
Time at 7"	2:12 pm	-	-	12:39 pm	
Time at 6"	2:14 pm	-	-	12:47 pm	
Time (9"-6")	5 Min	-	-	22 Min	
Percolation Rate (MPI) =	2	-	-	8	
Depth to E.H.G.W. (in) =	84	102		84	
Mottles Observed at (in)	84	102		84	
Weeping (in)	None	None		None	
Standing Water (in)	None	None		None	
Groundwater adjustment (ft)					
Adjusted depth to GW (ft):					
Est. G.W. Elev., (ft) (By Mottles)	211.10	210.20		205.00	
Facility to be Served 4 Bedroom Single family house					
Required Design					
Bedroom #:	4 x 110	gal/brm		440	GPD
Garbage Disposal Provided	___ YES ___ NO				GPD
Total Required Design (GPD)				440	GPD
Grease Trap: Not Required					
90-seat restaurant:	0 X 15	gal/seat			GPD
Grease trap volume:					GPD
Septic tank:					
Two-compartment				1500	GPD
ZABEL Filter A1800	___ X ___ YES ___ NO				
Total Required Design (GPD)				1500	GPD
Soil Absorption System (use 1' Deep x 3' Wide trenches)					
Design Percolation Rate	8	MPI	ELR		0.6 gal/sq ft/day
Soil Texture Classification	Use Class I Soils				
Min. center to center pipe spacing:	12 ft		use	12 ft	
Trench depth:	12-24 in		use	1 ft	
Trench width:	2-3 ft		use	3 ft	
Min. trench length:	146.67 ft		use	150.00 ft	
Limit of length:	100 ft		use	50.0 ft per line	
Number of lines:	3		use	3	
Design effluent treatment capacity	450	gpd	>440 gpd OK		
Soil Evaluator Certification:					
I certify that on June 8, 1995 I have passed the soil evaluator examination approved by the Department of Environmental Protection and that all soil evaluation and analysis was performed by me consistent with the required training, expertise and experience described in 310 CMR 15.017. My certificate number is SE2545.					
					



SHEA CONCRETE 1,500 GALLON PRECAST SEPTIC TANK - N.T.S.

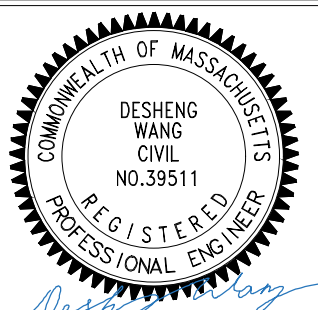


6 Outlet Distribution Box with Baffle - Typical
N.T.S. D-box shall be H-20

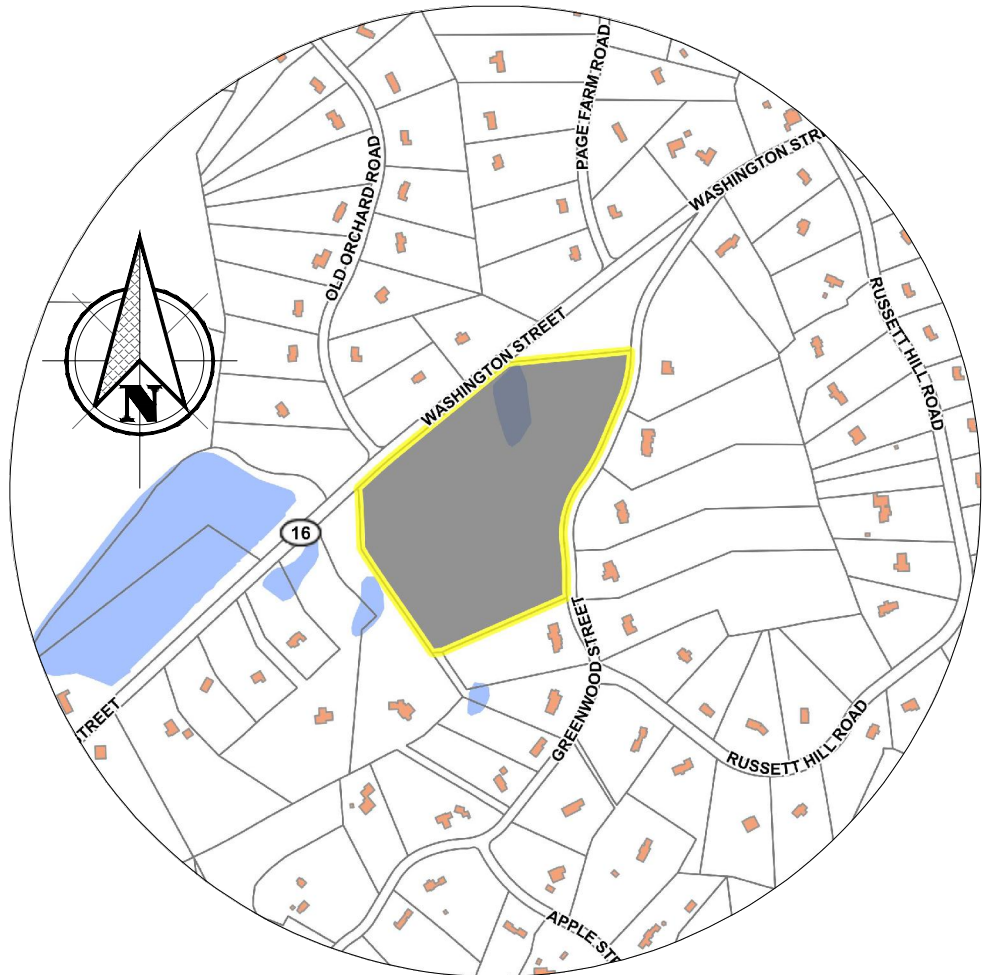
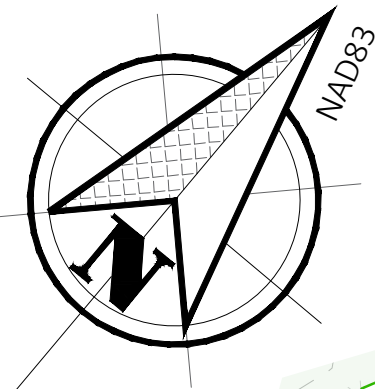


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774-454-0266 www.claweng.com

Plan Title:		Lot 3 Septic and Well Plan	
Project Name:		Greenwood Street Homes	
Site Address:		0 Washington St (Map 7, Lot 49) - Sherborn, MA	
Owner:		AB Realty Trust	Client: Robert Murchison
Project No:	J269-19a	Drawn by:	FA
Date:	10/18/23	Scale:	Indicadctd
Designed by:	DSW/FA	Approved by:	DSW
Sheet No:	2 of 2		
Rev.:	Date:	Description	By:
2	12/18/23	Minor SAS updates: septic tank, dbox, leaching field, grading	DSW/FA
1	12/05/23	General notes, septic features	DSW/FA



Comprehensive Permit Plan
of
Greenwood Street Homes
at Greenwood St
Sherborn, MA
Prepared for
Fenix Partners Greenwood Street
Development, LLC



Site Locus
N.T.S.

Project Title:	Greenwood Street Homes
Location:	0 Washington St, Sherborn, MA
Deed Book/Page:	Book 25396, Pages 417, 421, 424, 426, 428
Assessor's Map/lot:	Map 7/Lot 49
Project Team:	

Applicant/Developer:	Fenix Partners Greenwood Street Development, LLC Robert W. Murchison, Manager 177 Lake Street, Sherborn, MA 01770
Owner:	AB Realty Trust Mary Buntin (Trustee) 80 Maple St, Wenham, MA 01984 C. 978-774-3085
Architect:	Martin Designs Inc 32 WETHERSFIELD ROAD BELLINGHAM, MA 02019
Engineer:	Creative Land & Water Engineering, LLC P.O. Box 584 Southborough, MA 01772 Tel. 508-281-1694 email: clawe@claweng.com
Surveyor:	Samiotes Consultants, Inc., 20A Street Framingham, MA 01701
Ecological/Wetland Scientist:	Creative Land & Water Engineering, LLC P.O. Box 584 Southborough, MA 01772 Tel. 508-281-1694 email: clawe@claweng.com
Landscape Architect:	Ryan Associates 144 Moody Street, Building 4 Waltham, MA 02453-5332 p 781.314.0401 ext. 1007 c 401.474.0652

General Notes

- Record owner is AB Realty Trust of 7 Saint Joseph St, Hyannis, MA 02601. See Middlesex County Registry of Deeds Book 25396, Page 417 and Sherborn Assessor's Map 7, Lot 49 for records.
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APPROVED UNDER MASSACHUSETTS GENERAL
LAW CHAPTER 40B

DATE APPROVED: _____
DATE ENDORSED: _____
SHERBORN ZONING BOARD OF APPEALS

I HEREBY CERTIFY THAT 20 DAYS HAVE
LAPSED SINCE THE SHERBORN ZONING
BOARD OF APPEALS APPROVAL HAS FILED
WITH THE SHERBORN TOWN CLERK AND
THAT NO APPEAL HAS BEEN FILED WITH THIS
OFFICE.

DATE

JACKLYN R. MORRIS
SHERBORN TOWN CLERK

Sheet #	Sheet Index	Date	Revision
1	Cover and Index Plan.....	8/17/2023	12/05/2023
2	Existing Conditions Plan	8/17/2023	12/05/2023
3	Proposed Conditions Plan	8/17/2023	12/05/2023
4	Erosion Control Plan	10/18/2023	12/05/2023

Creative Land & Water Engineering, LLC
Environmental Scientists and Engineers
P.O. Box 584 - Southborough - MA - 01772
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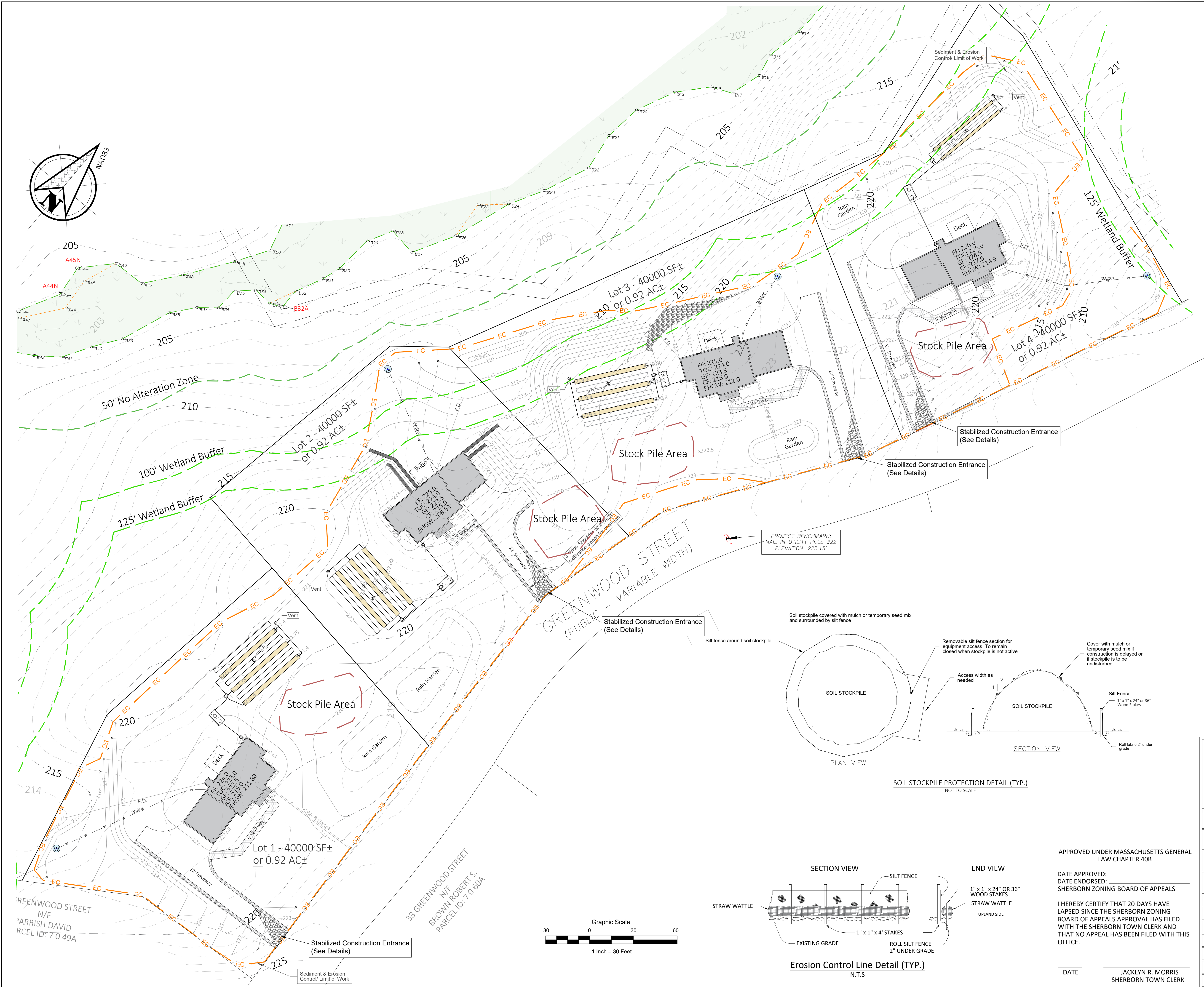
Plan Title: Cover & Index Plan			
Project Name: Greenwood Street Homes			
Site Address: 0 Greenwood Street - Sherborn, MA			
Owner: AB Realty Trust		Client: Robert Murchison	
Project No: J269-19	Drawn by: FA	Date: 08/17/23	Sheet No: 1 of 4
Designed by: DSW, FA	Approved by: DSW	Scale: 1" = 40'	
3	12/18/23	Septic SAS and other minor septic changes	DSW/FA
2	12/05/23	Notes, house and driveway location, grading, septic, drainage, erosion control	DSW/FA
1	10/18/23	Grading, Septic, Drainage, Erosion Control	DSW/FA
Rev.:	Date:	Description	By:





DATE JACKLYN R. MORRIS
SHERBORN TOWN CLERK

Table 4. State and Local Septic and Well Compliance Summary			Waiver Required (Yes, No)
	State (Title V)	Sherborn By-law	
Setback solid subsurface drain pipe if said drain invert is above the invert of the closest leaching line or bed	-	10	No
Setback from any solid subsurface drain pipe if the invert of that solid subsurface drain pipe is at or below the invert of the closest leaching trench, line, or bed	10	25	No
Setback from wetland, any watercourse, including streams, brooks, ponds, swamps or other wetlands (as defined in Chapter 133, Section 40 of the Massachusetts General Laws)	50	125	Yes
Setback from any curtain drain designed for 'that' system	25	25	No
Setback from any property line	10	20	Yes
Setback from any open surface drain	-	125	n/a
Setback to upgradient well (if less than 3 mpi percolate to add another 25')	100	125	Yes
Setback to downgradient well (if less than 3 mpi percolate to add another 25')	100	150	Yes
Well to property line	-	25	Yes
Well to Well	50	75	NO
Well to driveway	-	20	Yes
Well to roadway/high of way	-	55/50	
Groundwater table separation, for per perc rate slower than 2 mpi	4	5	Yes
Groundwater table separation, for per perc rate faster than 2 mpi	5	5	n/a



Construction Sequencing and Erosion Control Plan

1. Stake the limit of work and install sediment & erosion control measures as on the approved plan (silt fence, straw wattles, compost filter socks, hay bales, etc.). Inspection of the sediment & erosion control measures may take place at the pre-construction meeting.
2. Install stabilized construction entrance. The construction entrance shall be stabilized with a 6" thick layer of 4" crushed stone and underlain with a geotextile fabric. The construction entrance should be updated whenever sediment deposits are burying the stones. Any sediment tracked onto the roadway shall be regularly swept. The roadway should also be swept before any significant rain forecast.
3. Notify the conservation commission, design engineer, and any related town departments for a pre-construction meeting. All parties shall be notified of inspection 48 hours in advance.
4. Phase and sequence construction activities so that barren soils are not exposed for long periods. When possible, grading and earthwork should be scheduled or limited to small areas as much as possible and stabilize the area as soon as possible.
5. Site clearing: cutting trees and stumping for all four lots, stripping loam when construction of house start on each lot.
6. Excavate the foundation hole and install the foundation.
7. Install driveway & associated utilities (i.e., retaining walls, sewer and septic, water, swales, and/or conveyance pipes).
8. Complete grading for driveway; install subbase and binder in driveway.
9. The construction of the stormwater BMPs shall be inspected three (03) times by the design engineer:
 - I. When the trenches/rain gardens are excavated,
 - II. After stone had been filled in,
 - III. When grade is finished and vegetation planted
10. Construct the house according to the approved plan.
11. Stabilize exposed soils & stockpiles within 14 days of the last construction activity in a given area.
12. Site stabilization activities, such as loaming, planting of trees and shrubs, hydroseeding, etc., should be completed as soon as the site had been graded to its final contour.
13. Complete the final asphalt paving for the driveway.
14. All construction debris must be properly disposed of off-site.
15. Sediment & erosion control measures (silt fence, compost filter socks, hay bales, etc.) shall be inspected and reported according to the NPDES permit.
16. Silt fence and other no-biodegradable unnatural EC materials may only be removed after the lawn and landscape are fully established for permanent site stabilization.
17. Areas disturbed by the removal of the sediment & erosion control measures shall be reseeded.

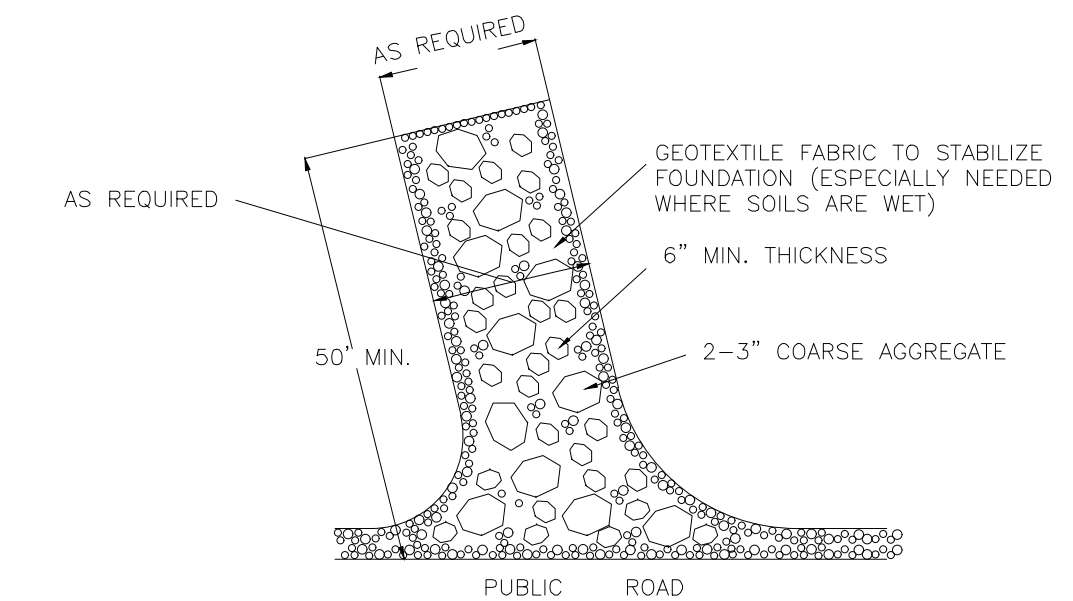
Post Construction Operation and Maintenance Plan

It is the owner's responsibility to operate and maintain the drainage systems on the property to sustain its long-term function. The basic operation and maintenance plan is laid out in the following:

1. The grass swales shall be mowed as regular lawn. Grass clippings shall be removed from the swales and properly disposed of off-site.
2. The groundcover in exfiltration basins and rain gardens shall be mowed twice a year and clips be removed and disposed properly. The ideal mowing height is 6" to prevent heat stress and increase drought resistance.
3. The inlet, outfall, and sump of all stormwater structures shall be inspected twice a year, once in the spring after snow melt and once in the fall after leaves have fallen.
4. Any leaves or debris caught in the inlet, outlet or sump shall be removed and properly disposed of.
5. Any excessive leaves or debris trapped in the riprap stones of the spillways shall be removed and properly disposed of.

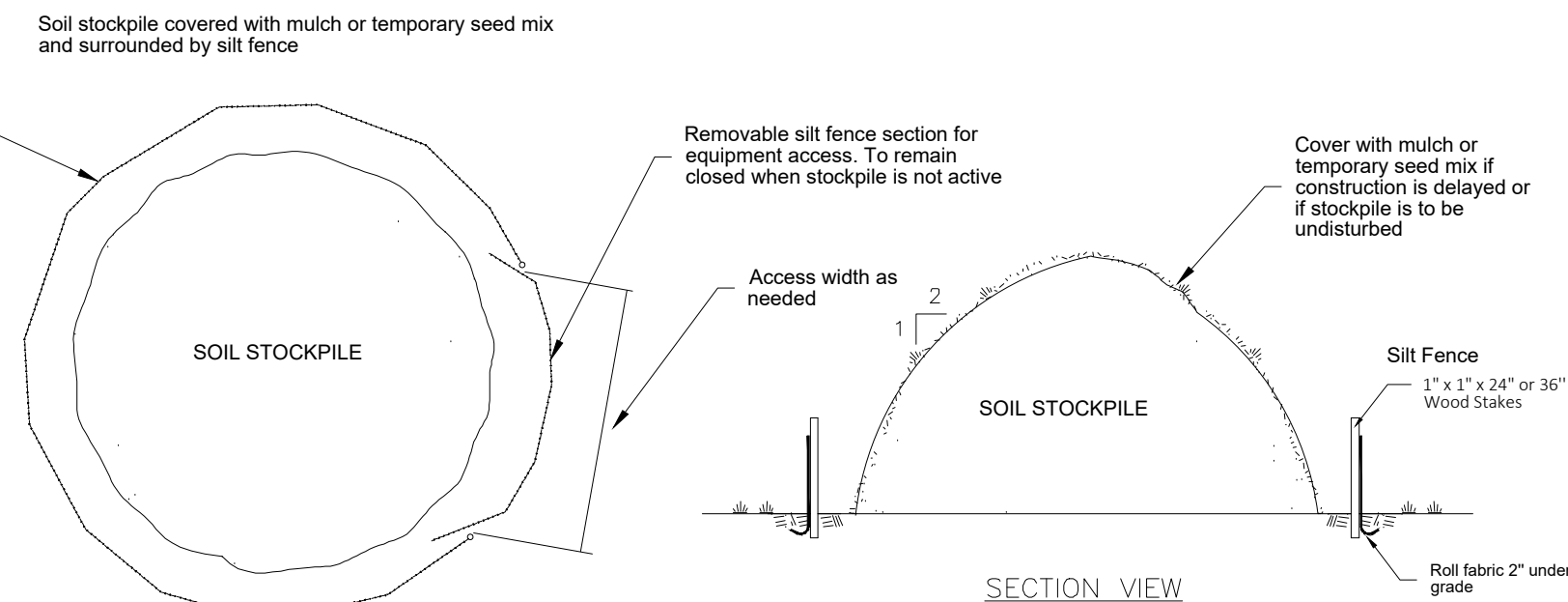
Long term pollution prevention plan

1. It is recommended that the home owner follow standard practice of management of house use chemicals including paint, oil, and gasoline for operation of lawn mower and snow blower, etc.
2. No such chemicals shall be dumped into the drainage system onsite.
3. It is recommended that utilization of environmentally safe ice and snow control, such as calcium chloride, especially in wetland buffer zones. Do not use sand or fine sand for the driveway.

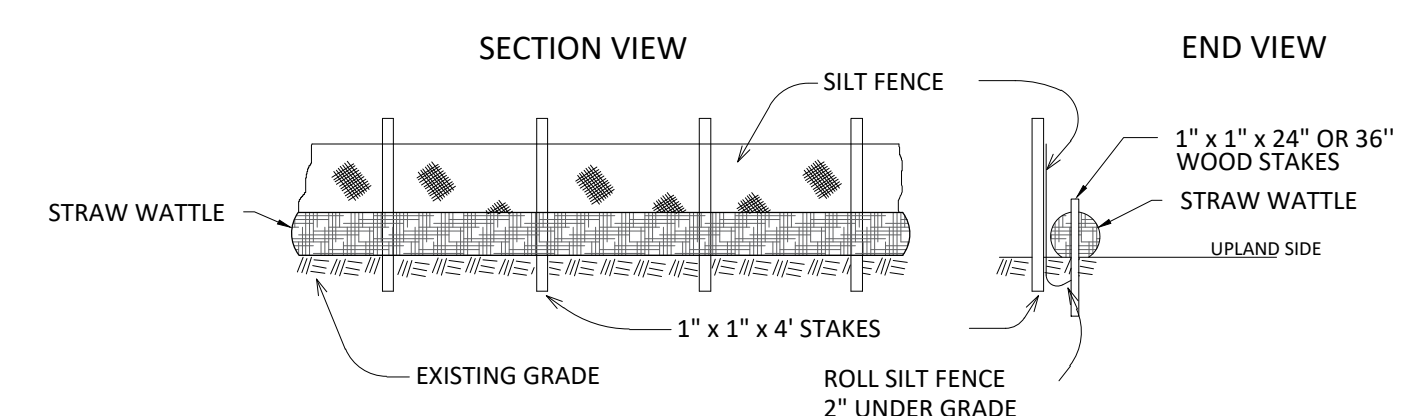


STABILIZED CONSTRUCTION ENTRANCE

AGGREGATE TO BE PLACED AT ALL CONSTRUCTION ACCESS/EGRESS POINTS AND SHALL BE CLEARED OF EXCESS SEDIMENT ON A WEEKLY BASIS (OR MORE FREQUENTLY AS NEEDED). ANY SEDIMENT DEPOSITED ON THE PUBLIC ROADWAYS FROM CONSTRUCTION VEHICLES SHALL BE SWEEPED UP ON A DAILY BASIS.



SOIL STOCKPILE PROTECTION DETAIL (TYP.)



EROSION CONTROL LINE DETAIL (TYP.)

APPROVED UNDER MASSACHUSETTS GENERAL LAW CHAPTER 40B

DATE APPROVED: _____
DATE ENDORSED: _____
SHERBORN ZONING BOARD OF APPEALS

I HEREBY CERTIFY THAT 20 DAYS HAVE LAPSED SINCE THE SHERBORN ZONING BOARD OF APPEALS APPROVAL HAS FILED WITH THE SHERBORN TOWN CLERK AND THAT NO APPEAL HAS BEEN FILED WITH THIS OFFICE.

DATE _____
JACKLYN R. MORRIS
SHERBORN TOWN CLERK

Creative Land & Water Engineering, LLC
Environmental Scientists and Engineers
P.O. Box 584 - Southborough - MA - 01772
774-454-0266 www.claweng.com

Plan Title:		Erosion Control Plan	
Project Name:		Greenwood Street Homes	
Site Address:		0 Greenwood Street - Sherborn, MA	
Owner:	AB Realty Trust	Client:	Robert Murchison
Project No:	J269-19	Drawn by:	FA
Designed by:	DSW, FA	Approved by:	DSW
Date:	10/18/23	Scale:	1" = 30'
Rev.:	3	Date:	12/18/23
Date:	12/05/23	Description:	Septic SAS and other minor septic changes
Date:		Description:	Notes, house and driveway location, grading, septic, drainage, erosion control
Date:		Description:	