

ZONING SUMMARY TABLE RESIDENTIAL A (RA) DISTRICT		
ITEM	REQUIRED	PROPOSED
MINIMUM LOT AREA	1 ACRE	1.01 ACRE
MINIMUM FRONTAGE	150 FEET	>150 FEET ²
MINIMUM LOT WIDTH	150 FEET ¹	>150 FEET
MINIMUM LOT DEPTH	N/A	N/A
MINIMUM FRONT SETBACK	60 FEET	SEE PLAN NOTE 6
MINIMUM SIDE SETBACK	30 FEET	42.6'
MINIMUM REAR SETBACK	30 FEET	52.8'
MAXIMUM HEIGHT (STORIES)	2.5	EXISTING
MAXIMUM HEIGHT (FEET)	35	EXISTING
MAXIMUM LOT COVERAGE	N/A	N/A

ZONING SUMMARY TABLE NOTES:

1. MINIMUM LOT WIDTH SHALL BE MEASURED AT FRONT SETBACK LINE AND AT BUILDING LINE. AT NO POINT BETWEEN THE REQUIRED FRONTAGE AND THE BUILDING LINE SHALL LOT WIDTH BE REDUCED TO LESS THAN 50 FEET, WITHOUT EXCEPTION FROM THE PLANNING BOARD.
2. LOT 4 IS MAINLY WITHIN THE B-C DISTRICT AND HAS EXISTING PERMITTED FRONTAGE TO POWDERHOUSE LANE.

APPROVAL UNDER THE SUBDIVISION
CONTROL LAW NOT REQUIRED

TOWN OF SHERBORN PLANNING BOARD

DATE:

THE ABOVE ENDORSEMENT IS NOT A
DETERMINATION OF BY THE PLANNING
BOARD AS TO CONFORMANCE TO ZONING
REQUIREMENTS

FOR REGISTRY USE ONLY

LEGEND

DRILL HOLE (DH)	○
STONE BOUND (SB)	□
IRON PIPE (IP)	○
SEPTIC COVER	⊕
BUILDING	
BUILDING OVERHANG	-----
PROPERTY LINE	----
ABUTTERS LINE	----
STONE WALL	=====
EDGE OF PAVEMENT	----
EDGE OF GRAVEL	-----
CURB	=====
CHAIN LINK FENCE	x
STOCKADE FENCE	□
VINYL FENCE	○
BITUMINOUS	BIT.
FOUND	FND
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.

LOCUS REFERENCES

-RECORD OWNER: BARSKY ESTATE REALTY TRUST
-TOWN OF SHERBORN ASSESSORS MAP 11, LOTS 41 & 43
-DEED BOOK 66954, PAGE 354

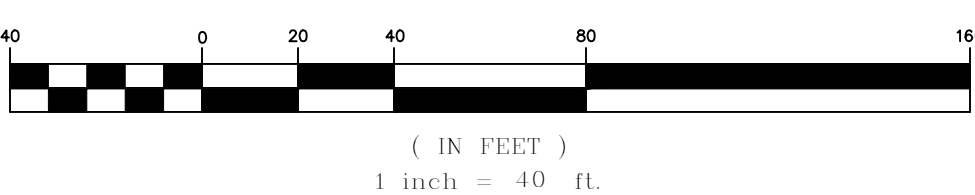
PLAN REFERENCES

-1931 COUNTY LAYOUT OF NORTH MAIN STREET
-PLAN 201 OF 1940
-PLAN 1038 OF 1963
-PLAN 427 OF 1981
-PLAN 1330 OF 1981

NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
3. THE PURPOSE OF THIS PLAN IS TO CREATE LOT A FROM THE TOWN OF SHERBORN ASSESSORS MAP 11, LOT 41.
4. ALL STRUCTURES ON THE REMAINDER OF ASSESSORS MAP 11, LOT 41 ARE TO BE RAZED. THE EXISTING BUILDING ON LOT A IS TO REMAIN.
5. THE SUBJECT PREMISES ARE LOCATED IN FLOOD ZONE X, AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AS SHOWN ON FEMA FLOOD MAP 25017C 065E, HAVING AN EFFECTIVE DATE OF 6/04/2010.
6. THE BUILDING ON LOT A IS A PREVIOUSLY NON-CONFORMING STRUCTURE.

GRAPHIC SCALE



R:\PROJECTS\2513-01\SURVEY\DRAWINGS\CURRENT\5-2513-01-ANR-SITE1.DWG

WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN JULY 11, 2018 AND JULY 16, 2018. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 1, 1976 AND REVISED JANUARY 12, 1988. ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. THE ABOVE CERTIFICATION IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS FOR THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF SHERBORN ASSESSOR'S INFORMATION. THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

**ISSUED FOR
REVIEW**
OCTOBER 2, 2020

PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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APPLICANT/OWNER:

BARSKY ESTATE REALTY TRUST
23 HUNTING LANE
SHERBORN, MA 01770

PROJECT:

41-43 NORTH MAIN STREET
SHERBORN, MA

PROJECT NO.	2513-01	DATE:	10/02/2020
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SCALE:	1" = 40'	DWG. NAME:	5-2513-01
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DRAFTED BY:	AJR	CHECKED BY:	NIL
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PREPARED BY:

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DRAWING TITLE:	SHEET No.
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APPROVAL NOT REQUIRED

1

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