

WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN JULY 11, 2018 AND JULY 16, 2018. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 1, 1976 AND REVISED JANUARY 12, 1988.

ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

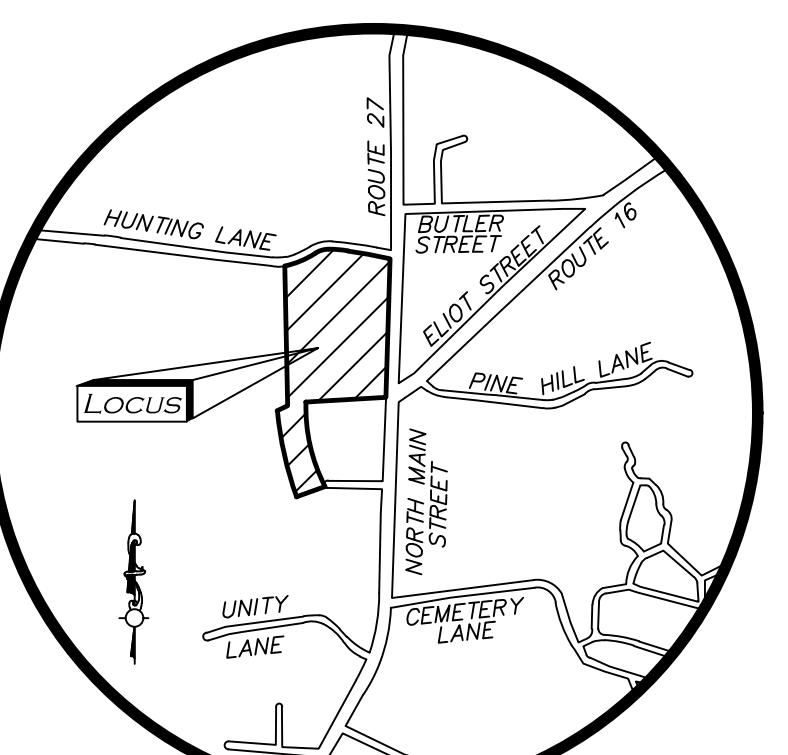
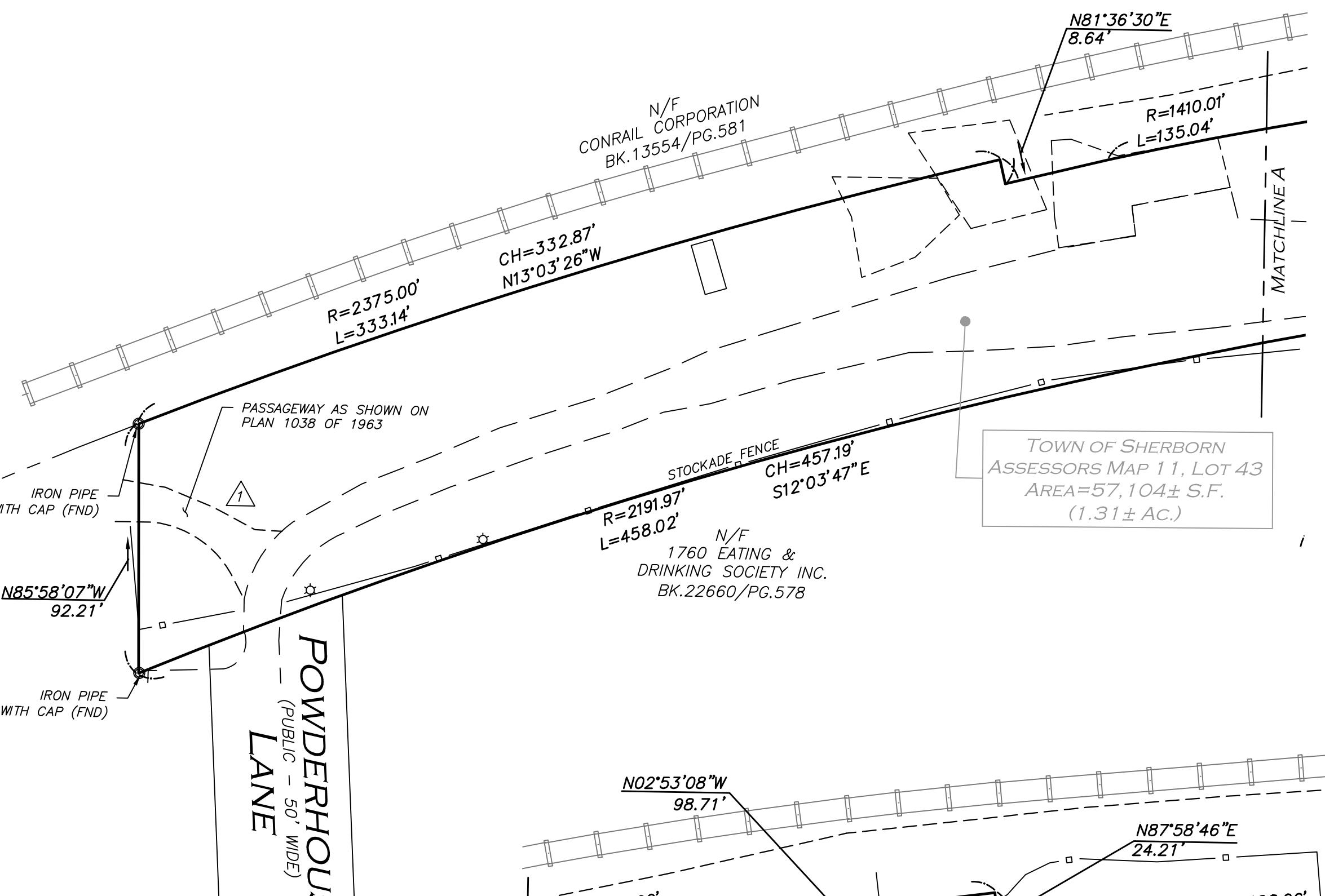
THE ABOVE CERTIFICATION IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS FOR THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF SHERBORN ASSESSOR'S INFORMATION.

THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

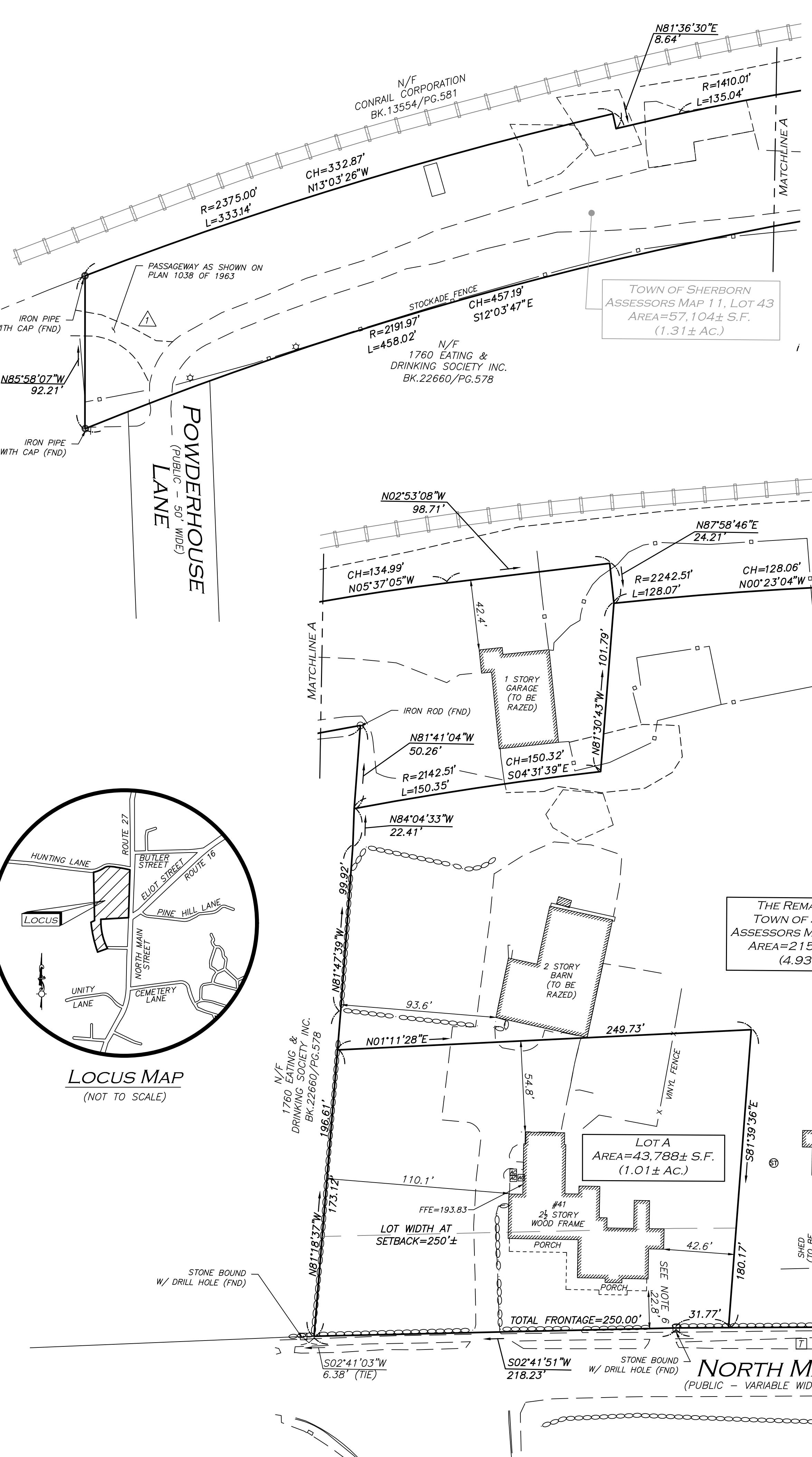
ALLEN & MAJOR ASSOCIATES, INC.

**ISSUED FOR  
REVIEW**  
OCTOBER 2, 2020

PROFESSIONAL LAND SURVEYOR FOR  
ALLEN & MAJOR ASSOCIATES, INC.



**LOCUS MAP**  
(NOT TO SCALE)



| ZONING SUMMARY TABLE<br>RESIDENTIAL A (RA) DISTRICT |                       |                        |
|---|-----------------------|------------------------|
| ITEM  | REQUIRED              | PROPOSED               |
| MINIMUM LOT AREA                                    | 1 ACRE                | 1.01 ACRE              |
| MINIMUM FRONTAGE                                    | 150 FEET              | >150 FEET <sup>2</sup> |
| MINIMUM LOT WIDTH                                   | 150 FEET <sup>1</sup> | >150 FEET              |
| MINIMUM LOT DEPTH                                   | N/A                   | N/A                    |
| MINIMUM FRONT SETBACK                               | 60 FEET               | SEE PLAN NOTE 6        |
| MINIMUM SIDE SETBACK                                | 30 FEET               | 42.6'                  |
| MINIMUM REAR SETBACK                                | 30 FEET               | 52.8'                  |
| MAXIMUM HEIGHT (STORIES)                            | 2.5                   | EXISTING               |
| MAXIMUM HEIGHT (FEET)                               | 35                    | EXISTING               |
| MAXIMUM LOT COVERAGE                                | N/A                   | N/A                    |

ZONING SUMMARY TABLE NOTES:

1. MINIMUM LOT WIDTH SHALL BE MEASURED AT FRONT SETBACK LINE AND AT BUILDING LINE AT NO POINT BETWEEN THE REQUIRED FRONTAGE AND THE BUILDING LINE SHALL LOT WIDTH BE REDUCED TO LESS THAN 50 FEET, WITHOUT EXCEPTION FROM THE PLANNING BOARD.
2. LOT 4 IS MAINLY WITHIN THE B-C DISTRICT AND HAS EXISTING PERMITTED FRONTAGE TO POWDERHOUSE LANE.

APPROVAL UNDER THE SUBDIVISION  
CONTROL LAW NOT REQUIRED  
TOWN OF SHERBORN PLANNING BOARD

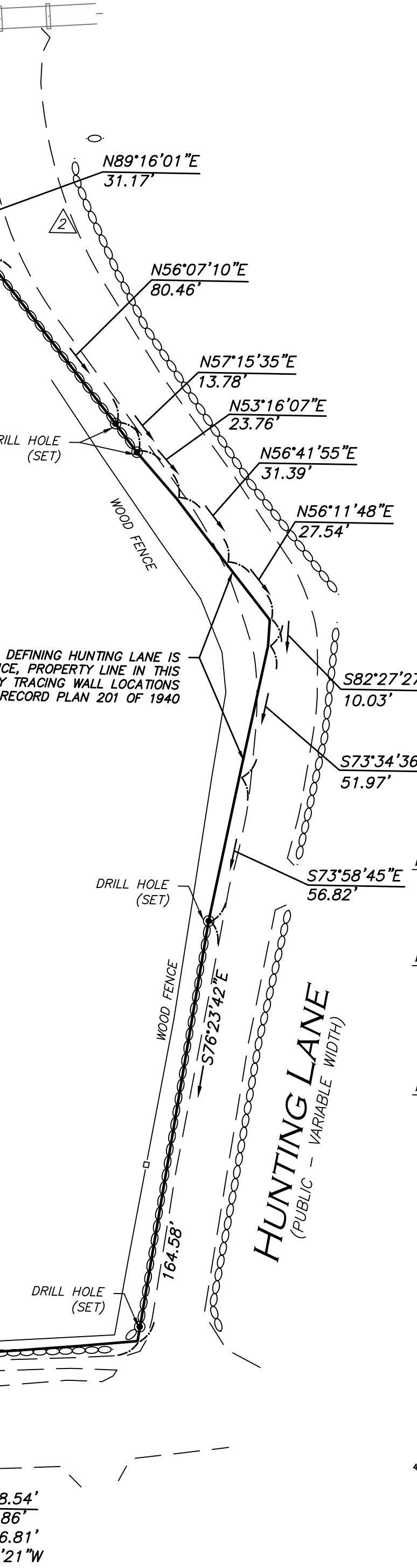
FOR REGISTRY USE ONLY

DATE:

THE ABOVE ENDORSEMENT IS NOT A  
DETERMINATION OF BY THE PLANNING  
BOARD AS TO CONFORMANCE TO ZONING  
REQUIREMENTS

**LEGEND**

|                   |            |
|-------------------|------------|
| DRILL HOLE (DH)   | ●          |
| STONE BOUND (SB)  | □          |
| IRON PIPE (IP)    | ○          |
| SEPTIC COVER      | ◎          |
| BUILDING          | ■          |
| BUILDING OVERHANG | -----      |
| PROPERTY LINE     | —          |
| ABUTTERS LINE     | —          |
| STONE WALL        | ○○○○○○○○○○ |
| EDGE OF PAVEMENT  | —          |
| EDGE OF GRAVEL    | —          |
| CURB              | —          |
| CHAIN LINK FENCE  | —          |
| STOCKADE FENCE    | —          |
| VINYL FENCE       | —          |
| BITUMINOUS        | —          |
| FOUND             | —          |
| NOW OR FORMERLY   | —          |
| BOOK              | —          |
| PAGE              | —          |

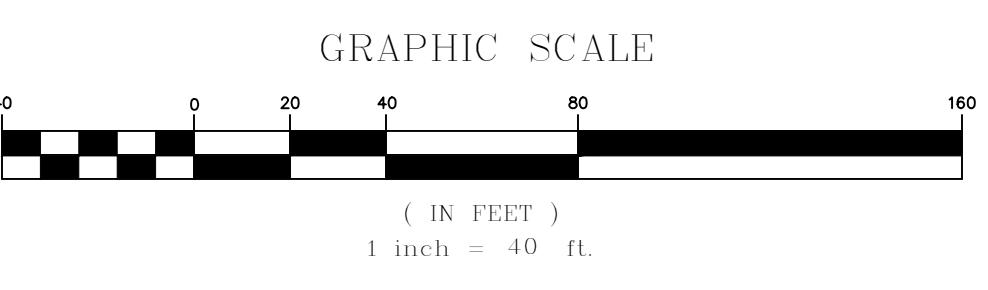
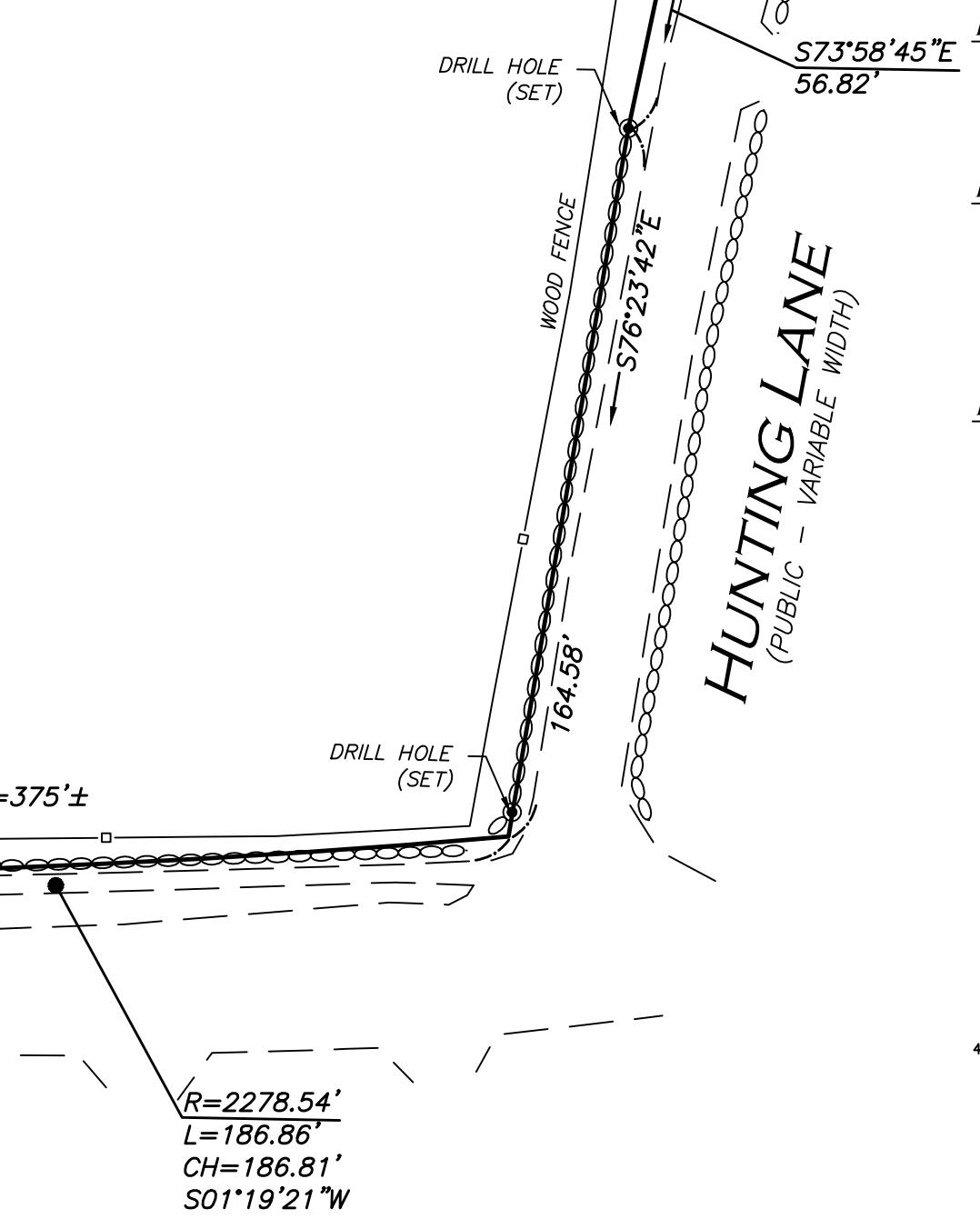


THIS PORTION OF WALL DEFINING HUNTING LANE IS  
NO LONGER IN EXISTENCE. PROPERTY LINE IN THIS  
AREA WAS DETERMINED BY TRACING WALL LOCATIONS  
AS SHOWN ON THE RECORD PLAN 201 OF 1940

ROUTE 27

TOWN OF SHERBORN  
ASSESSORS MAP 11, LOT 41  
AREA=215.089± S.F.  
(4.93± AC.)

TOWN OF SHERBORN  
ASSESSORS MAP 11, LOT 41  
AREA=258.87± S.F.  
(5.94± AC.)



R:\PROJECTS\2513-01\SURVEY\DRAWINGS\CURRENT\2513-01-ANR-SITE1.DWG

PROJECT NO. 2513-01 DATE: 10/02/2020

SCALE: 1" = 40' DWG. NAME: S-2513-01

DRAFTED BY: AJR CHECKED BY: NIL

PREPARED BY:



**ALLEN & MAJOR  
ASSOCIATES, INC.**

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