



**TOWN OF SHERBORN**  
**DEPARTMENT OF PUBLIC WORKS**  
7 BUTLER STREET, SHERBORN, MA 01770  
508-651-7878

February 16, 2021

Sherborn Zoning Board of Appeals  
19 Washington Street  
Sherborn, MA 01770

Dear ZBA Members,

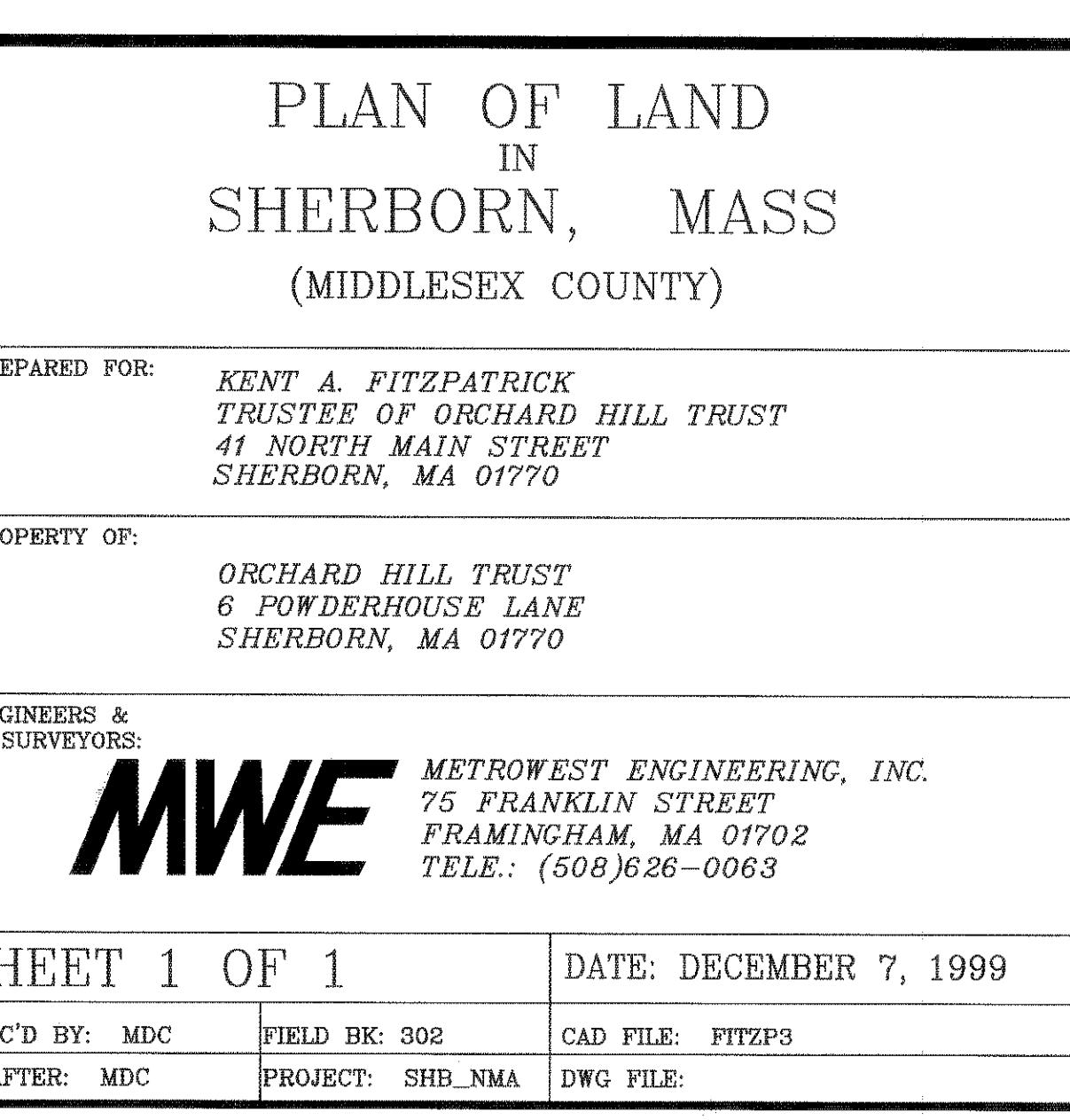
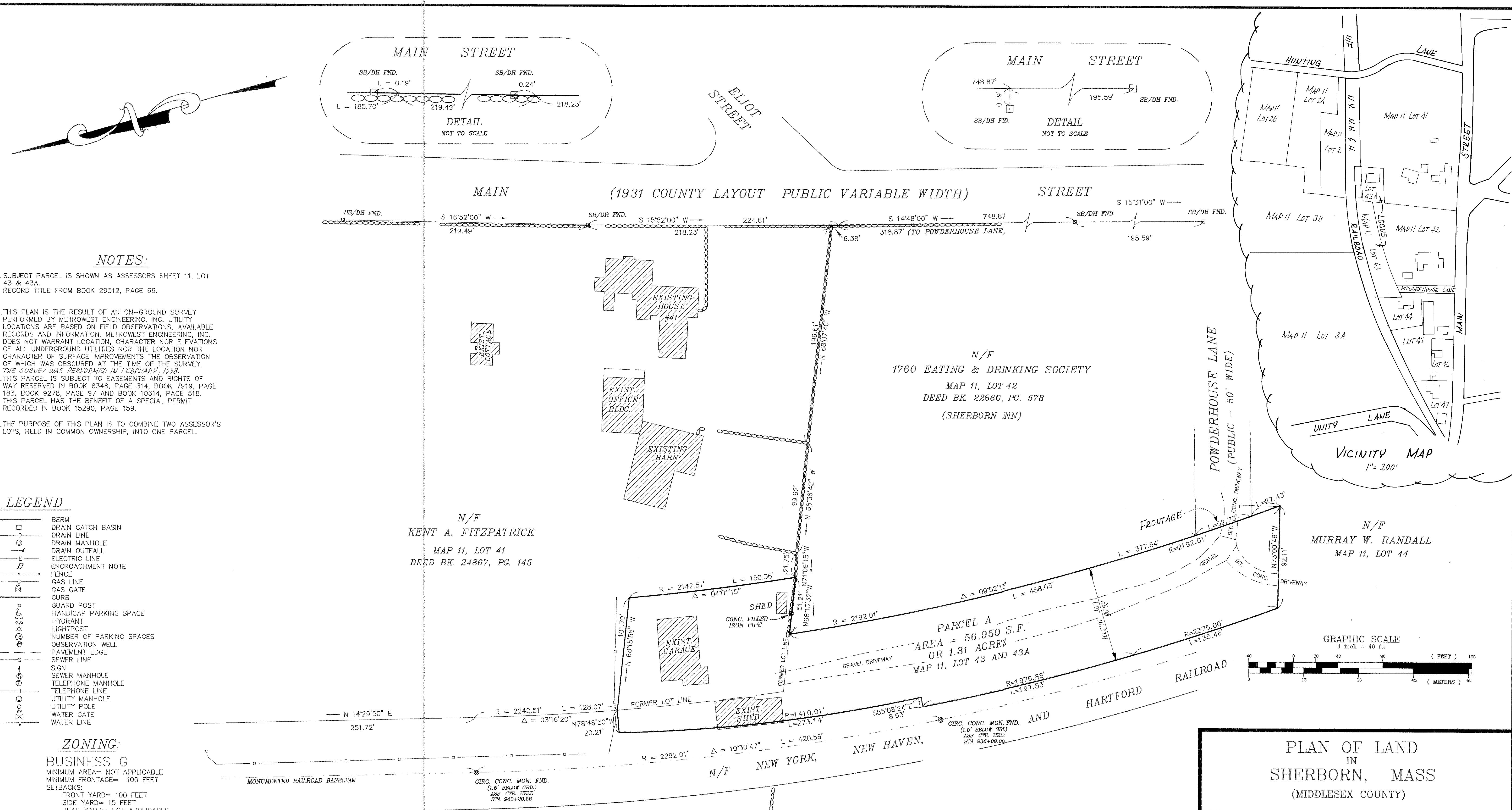
As Director of Sherborn's Department of Public Works, responsible for Town's roadway infrastructure and related traffic and safety issues, I have concerns regarding the use of Powder House Lane as the sole access to the proposed development of 41 North Main.

While the width of Powerhouse Lane is a public 50' right-of-way as noted in attached Plan Book 2000 page 142, the entering and exiting of vehicles from Powderhouse onto this portion of North Main Street, comprised of merged state routes 16 and 27, has long been identified as a challenge. Several hundred yards north of Powderhouse lane the two state routes split at an intersection with 27 continuing north into Natick Center and 16 heads east as Eliot Street and is also the entrance for cars and buses accessing Pine Hill Elementary School. Also at intersection is a currently used entrance to existing residences at 41 North Main.

In 2017 Sherborn worked with Green International as part of Tier 2 Complete Streets project to identify and prioritize roadway improvements for both vehicle and pedestrian safety. Attached is a slide from the 2017 presentation to Sherborn's Select Board showing potential improvements to the Eliot Street intersection. As design infrastructure details related to 61A concerns are not finalized, my department has not reviewed all traffic safety concerns in depth. This letter is to highlight a long-standing concern for traffic circulation at this particular point in town center.

Regards,

Sean Killeen  
Director of Public Works/ Facilities Manager



Middlesex Registry of Deeds,  
Southern District  
Cambridge, Massachusetts

**SHERBORN PLANNING BOARD**  
APPROVAL UNDER SUBDIVISION CONTROL LAW NOT REQUIRED

Mary Joyce  
Arthur Johnson  
Oscar Fischel

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*REFERENCES*

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MIDDLESEX COUNTY REGISTRY OF DEEDS

MIDDLESEX COUNTY REGISTRY OF DEEDS

DEEDS:	PLANS:
BOOK 14479, PAGE 130	PLAN 427 OF 198
BOOK 24867, PAGE 145	PLAN 661 OF 198
	PLAN 1330 OF 19
	PLAN 1038 OF 19
	PLAN 201 OF 194

PLAN BOOK 419, PLAN #1  
PLAN BOOK 153, PLAN #13  
RAILROAD VALUATION MAP V.7 31/18

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED  
IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL  
STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN  
THE COMMONWEALTH OF MASSACHUSETTS

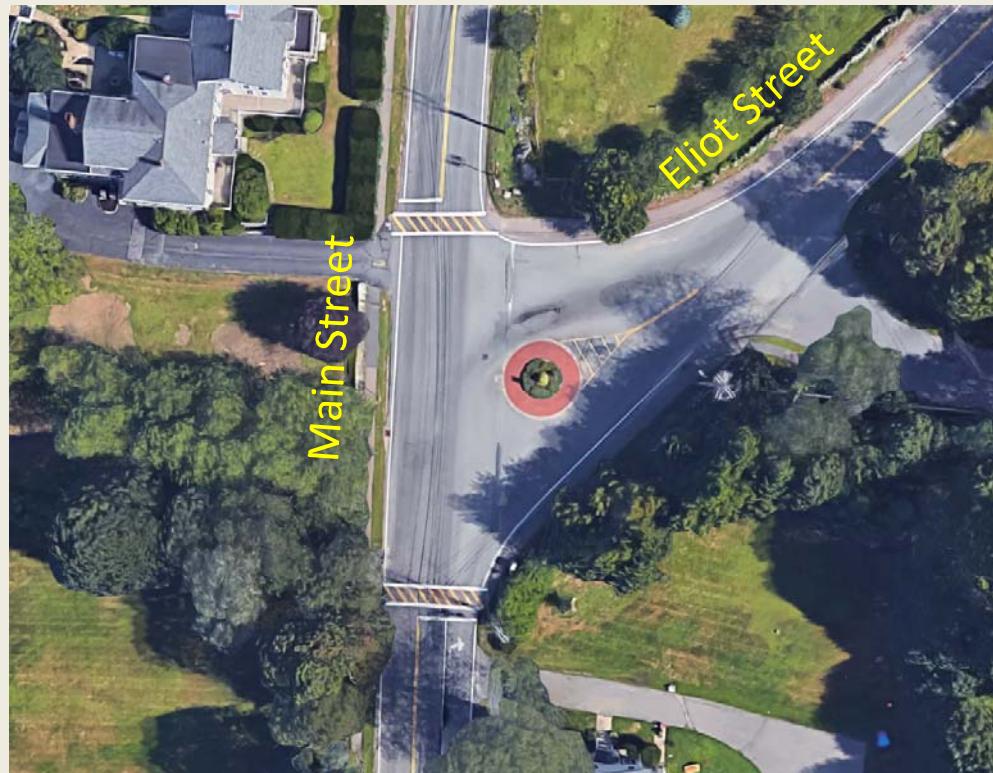
I CERTIFY THAT THIS PLAN CONFORMS  
TO THE RULES AND REGULATIONS OF  
THE REGISTRY OF DEPS.

THE REGISTRY OF DEEDS.

Bert A. Gemma 12/7/99



## Main Street/Eliot Street Signal Replacement & Intersection Reconstruction Project



Cost Estimate: \$500,000