



28 GREENWOOD ST - SHERBORN - MA - 01770

SQUARE FOOTAGE:	
FINISHED BASEMENT:	932 SQ-FT
1ST FLOOR:	1,348 SQ-FT
2ND FLOOR:	1,758 SQ-FT
ATTIC FLOOR:	835 SQ-FT
TOTAL:	4,873 SQ-FT

LOAD CRITERIA:

- 40 PSF LIVING AREA LOADS
30 PSF SLEEPING AREA LOADS
30 PSF ATTIC LIVE LOADS
15 PSF DEAD LOADS
40 PSF SNOW LOADS
60 PSF EXTERIOR DECK LOADS

WIND SPEED: 127 MPH

PROJECT NOTES

GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL STATE AND LOCAL BUILDING CODES AND REQUIREMENTS.
- ALL NEW CONSTRUCTION SHALL COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE 9TH EDITION CMR.
- THE GENERAL CONTRACTOR SHALL REVIEW AND NOTIFY MARTIN DESIGNS OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
- THE GENERAL CONTRACTOR SHALL LEAVE THE PROJECT SITE CLEAR AT ALL TIMES AND REMOVE ALL DEBRIS.
- THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, PATCHING, CHASING, AND REPAIRING REQUIRED TO PERFORM THE WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WORK OF ALL TRADES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.
- DIMENSIONS ARE TO CENTER LINES, TO FACE OF FINISHED SURFACE, OR EXISTING BUILDING GRID LINES.
- THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITH THE PROPOSED SCOPE OF WORK.
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- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING, PAYING, AND SCHEDULING INSPECTIONS.
- ALL PENETRATIONS SHALL BE SEALED TIGHT WITH UL-LISTED FIRESTOPPING.
- ALL DATA OUTLETS MUST BE ON A DEDICATED, ISOLATED CIRCUIT.

FOUNDATION NOTES:

- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH FLOOR PLANS PRIOR TO CONSTRUCTION AND NOTIFY MARTIN DESIGNS OF ANY DISCREPANCIES.
- GENERAL CONTRACTOR TO PROVIDE WATERPROOFING AS REQUIRED TO MEET ALL APPLICABLE BUILDING CODES.
- CONCRETE SLABS TO BE 4" (3000 psi MIN), REQUIRED AS PER CODE.
- PROVIDE 6" CRUSHED STONES, VAPOR BARRIERS AT ALL CONCRETE SLABS.
- GENERAL CONTRACTOR TO PROVIDE ADEQUATE DRAINAGE BASED ON EXISTING SITE CONDITIONS. GC TO VERIFY WITH LOCAL CODES.
- ALL CONCRETE SHALL HAVE A 28 DAY DESIGN STRENGTH OF 3500 psi MIN.
- ALL FOOTINGS TO REST ON UNDISTURBED SOIL AT A MIN DEPTH OF 4 FEET. SOIL BEARING CAPACITY ASSUMED TO BE 4000 psf.

FRAMING NOTES:

- ALL FRAMING WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS RESIDENTIAL BUILDING CODE AND THE IRC.
- MARTIN DESIGNS MAKES NO CLAIMS TOWARDS EXISTING CONDITIONS.
- ALL SILL PLATES, WALL BASE AT GARAGE, BASEMENT, DECK & PORCH FRAMING SHALL BE PRESSURE TREATED.
- ALL FRAMING LUMBER, BEAMS, JOISTS, RAFTERS, HEADERS, PLATES AND SILL SHALL BE SPRUCE PINE FIR #2 OR BETTER.
- ALL LVL BEAMS SHALL BE VERSALAM BY BOISE CASCADE 2.0.
- ALL VERSALAM COLUMNS SHALL BE VERSA-LAM 1.8 BY BOISE CASCADE.
- 4 PLY LVL BEAMS SHALL BE SCREWED TOGETHER.
- ALL JOIST AND BEAM HANGERS SHALL BE SIMPSON.
- ALL WALL SHEATHING SHALL BE 3/4" CDX PLYWOOD.
- PLYWOOD SUBFLOORS SHALL BE TONGUE AND GROOVE, 3/4" THICK, A/C.
- EXTERIOR HEADERS SHALL BE 3 PLY 2x8s SPF #2 MINIMUM. INTERIOR HEADERS SHALL BE 2 PLY 2x10s SPF #2 MINIMUM.
- HEADERS AND BEAMS SHALL BE SUPPORTED BY TWO JACK STUD AND ONE KING STUD.
- ALL EXTERIOR WALLS AND INTERIOR LOAD BEARING WALLS SHALL BE 2x6 @ 16" O.C. WITH 2 ROWS OF HORIZONTAL BLOCKING AT 3/4" POINTS.
- 3/4" HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER OF 3/4" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 3/4" TYPE X DRYWALL ON THE HOUSE SIDE.

ROOF NOTES:

- 30 YEAR ASPHALT SHINGLES ON #30 BUILDING PAPER AT ALL NEW ROOF, BLEND TO EXISTING.
- ALL ROOF SHEATHING SHALL BE 3/4" TONGUE AND GROOVE CDX PLYWOOD.
- 3/4" O" WIDE ICE & WATER SHIELD AT ALL ROOF/WALL JUNCTIONS.
- GENERAL CONTRACTOR TO PROVIDE FLASHING PER MANUFACTURER'S INSTALLATION REQUIREMENTS AT ALL ROOF/WALL JUNCTIONS.
- CONTINUOUS ROOF VENT TYPICAL.
- ALUMINUM DRIP EDGE.
- ALUMINUM GUTTERS & DOWNSPOUTS.
- 1x8 FASCIA & SOFFIT WITH 2" CONTINUOUS VENT.
- USE SIMPSON HURRICANE CLIPS AS REQUIRED BY MASSACHUSETTS STATE BUILDING CODE.
- GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.
- WOOD ROOF TRUSSES SHALL BE METAL PLATE CONNECTED TO WOOD CHORDS AND WOOD WEBS. TRUSS LAYOUT IS FOR REPRESENTATION PURPOSES ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE COMPLETE DESIGN OF ALL TRUSSES AND PROVIDE STAMPED TRUSS PROFILES TO CUSTOMER.

INSULATION NOTES:

- EXTERIOR WALLS SHALL HAVE R-21 BATT INSULATION WITH VAPOR BARRIER.
- BASEMENT AND CEILING SHALL HAVE R-38 BATT INSULATION WITH VAPOR BARRIER.
- ALL CEILING CAVITIES SHALL HAVE R-49 BATT INSULATION WITH VAPOR BARRIER.
- ROOF SHALL HAVE R-38 BATT INSULATION WITH VAPOR BARRIER.
- FOR FOUNDATION AND SLABS SHALL HAVE R-10 MIN.
- SOUND BARRIER BETWEEN FLOORS.

WINDOWS, DOORS
& SKYLIGHTS:

- ALL WINDOWS, DOORS & SKYLIGHTS SHALL BE ENERGY STAR RATED.
- ALL WINDOWS, DOORS & SKYLIGHTS SHALL COMPLY WITH STATE & LOCAL REQUIREMENTS.
- GENERAL CONTRACTOR TO ENSURE THAT WINDOWS MEET THE CORRECT ZONE.
- ALL WINDOWS SHALL MEET THE IRC 2015 EGRESS WINDOW REQUIREMENTS.

DRAWING INDEX:

No:

DESCRIPTION:

- | | |
|-----|-------------------|
| C-1 | COVER PAGE |
| E-1 | ELEVATION VIEW |
| E-2 | ELEVATION VIEW |
| A-1 | FOUNDATION PLAN |
| A-2 | FLOOR PLAN |
| A-3 | FLOOR PLAN |
| A-4 | ROOF/FRAMING PLAN |
| A-5 | FRAMING PLAN |
| A-6 | FRAMING PLAN |
| S-1 | SECTION DETAILS |
| 3D | 3D VIEWS |

General Notes

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ALL NEW CONSTRUCTION SHALL COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE 9TH EDITION CMR.

	FOR CONSTRUCTION	8/11/22
No.	Revision/Issue	Date

Firm Name and Address

MARTIN DESIGNS
BELLINGHAM, MA

Project Name and Address

GREENWOOD HOMES
FENIX PARTNERS GREENWOOD
STREET DEVELOPMENT, LLC
28 GREENWOOD ST
SHERBORN - MA - 01770

Project	NEW HOME	Sheet
Date	08/11/2022	C - 1
Scale	As Noted	

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RIGHT SIDE



FRONT VIEW

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BELLINGHAM, MA

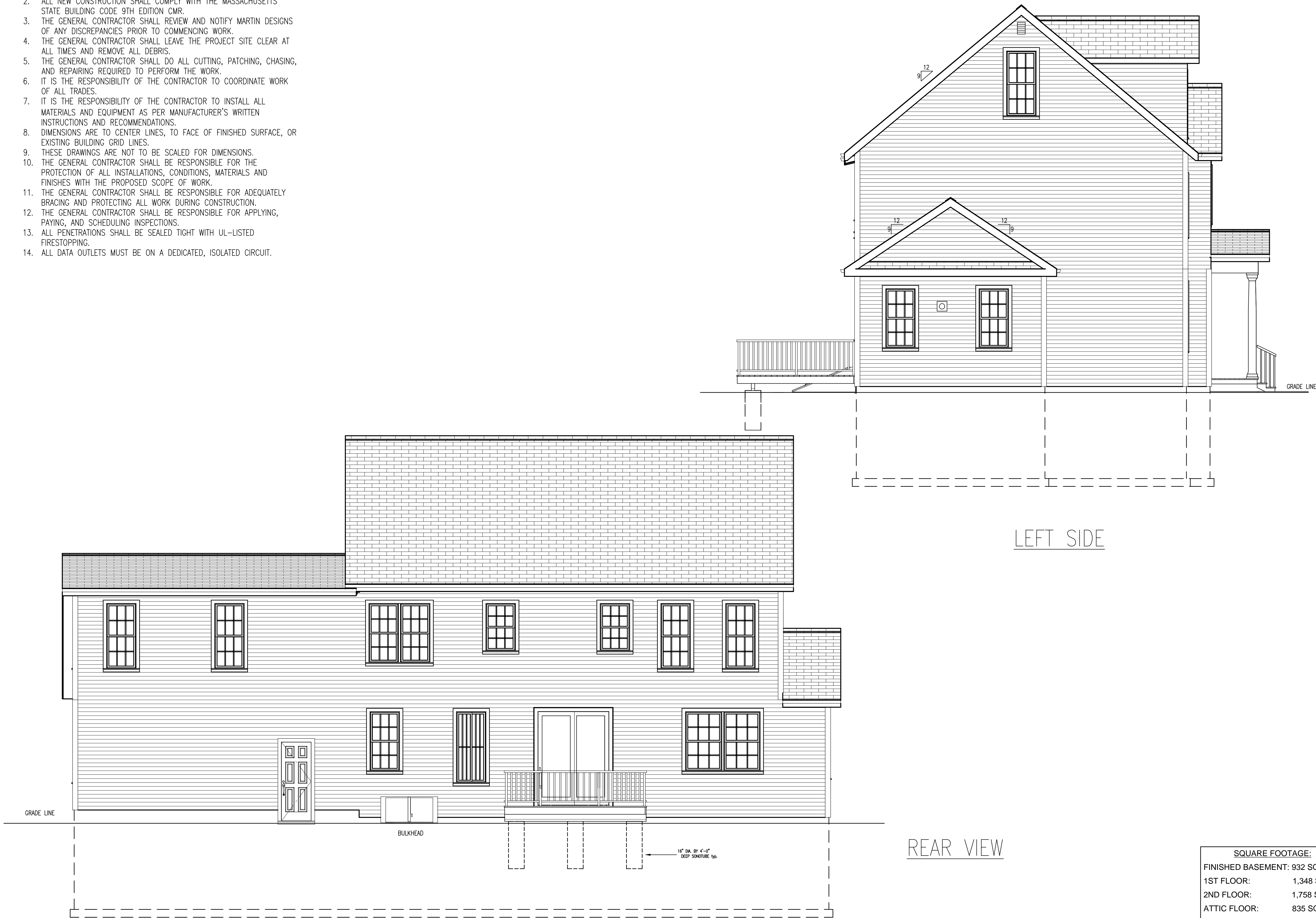
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GREENWOOD HOMES
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STREET DEVELOPMENT, LLC
28 GREENWOOD ST
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Project	Sheet
NEW HOME	E — 1
Date	08/11/2022
Scale	1/4" = 1'-0"

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FOUNDATION NOTES:

NEW 4" CONCRETE SLAB ON 6 MIL. PVC, 6x6x10/10 W.W.F REINFORCING OVER 6" MIN. COMPACTED FILL.

4'-0" MIN. FROST WALL w/ 24"x12" FOOTINGS

ATTACH NEW CONCRETE SLAB TO EXISTING FOUNDATION w/ #5 REBAR AT 12" O.C.

4" RIGID FOAM INSULATION UNDER SLAB AND AROUND NEW FOUNDATION

ALL FOOTINGS TO REST ON UNDISTURBED SOIL. SOIL BEARING CAPACITY ASSUMED TO BE 4,000 PSF.

G.C. TO PROVIDE ADEQUATE DRAINAGE BASED ON EXISTING SITE CONDITIONS. G.C. TO VERIFY WITH LOCAL CODES.

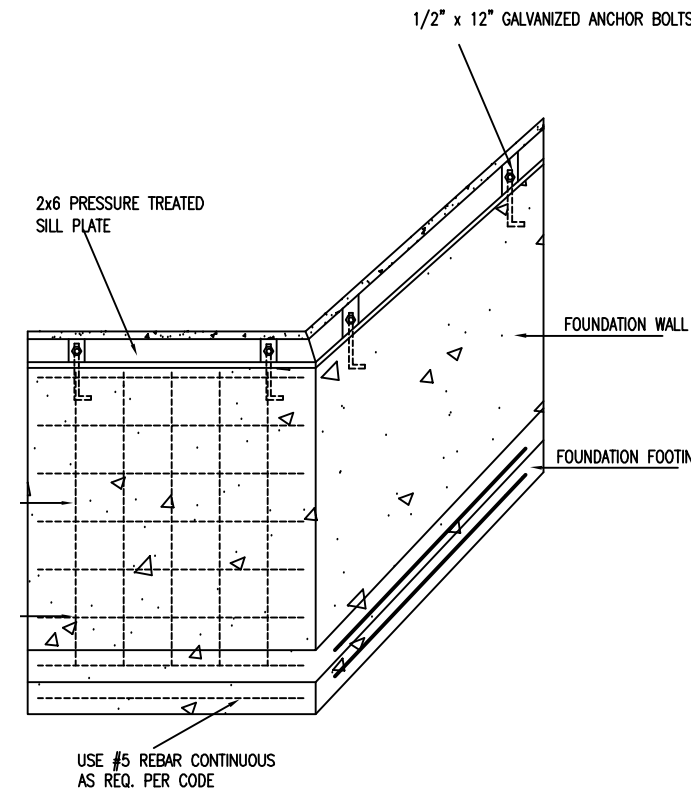
MAXIMUM DISTANCE BETWEEN HOLD-DOWNS IS 6'-0"

MIN. BOLT DIAMETER IS 1/2" AND MUST EXTEND 7" INTO FOUNDATION

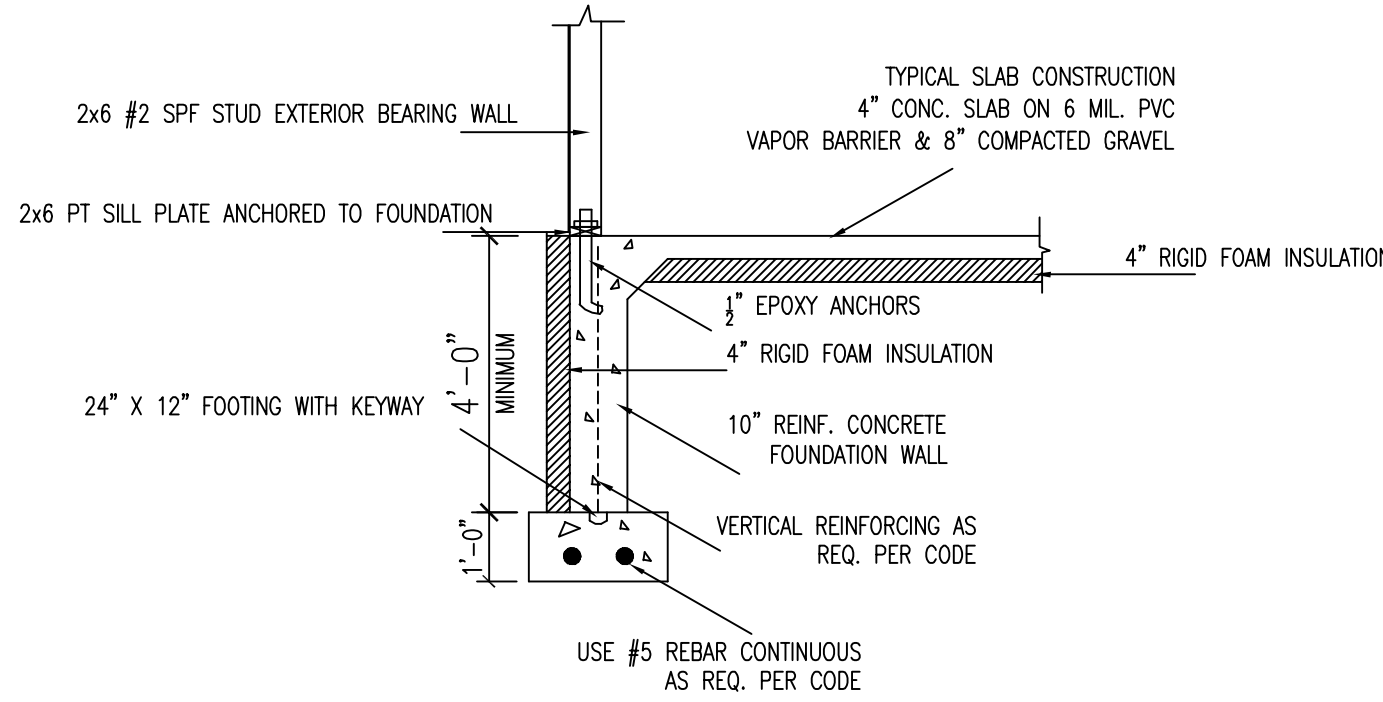
USE 1/2" x 12" GALVANIZED ANCHOR BOLTS

10" REINFORCED CONCRETE FOUNDATION WALLS

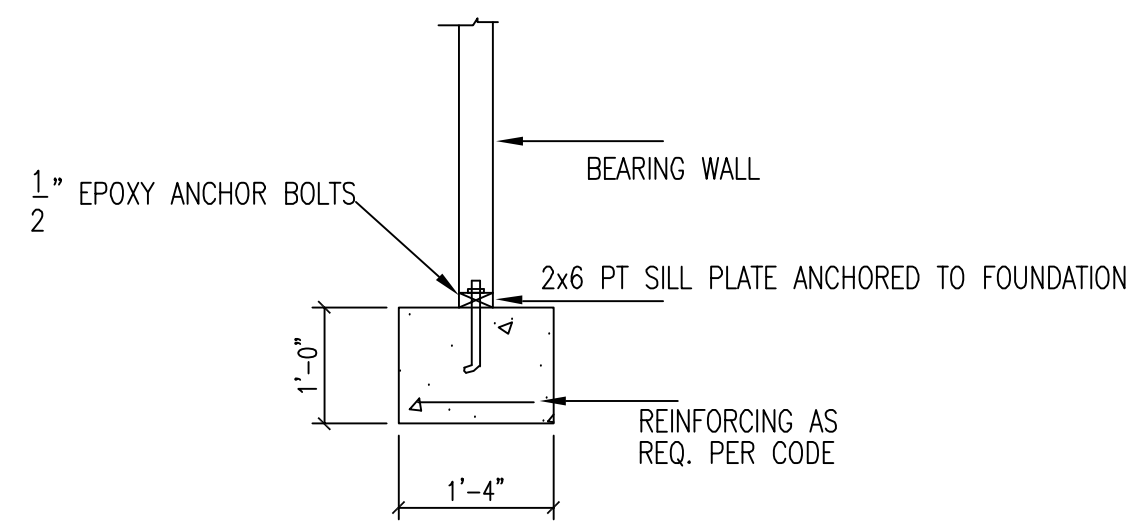
24"x12" FOOTINGS WITH KEY



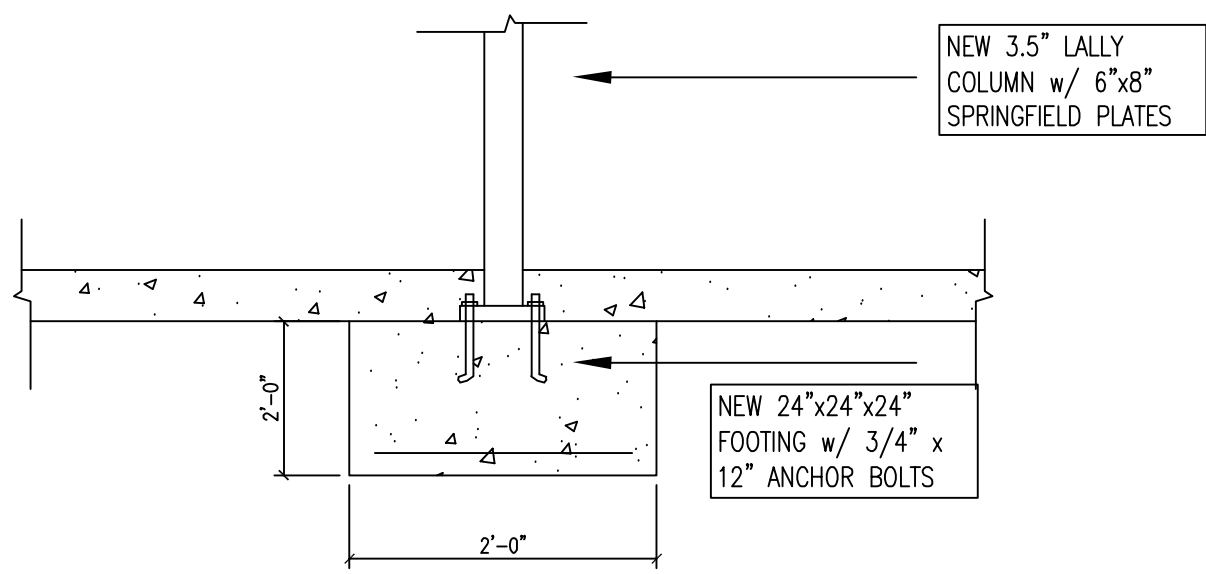
FOUNDATION WALL
DETAIL NOT TO SCALE



GARAGE WALL DETAIL
NOT TO SCALE

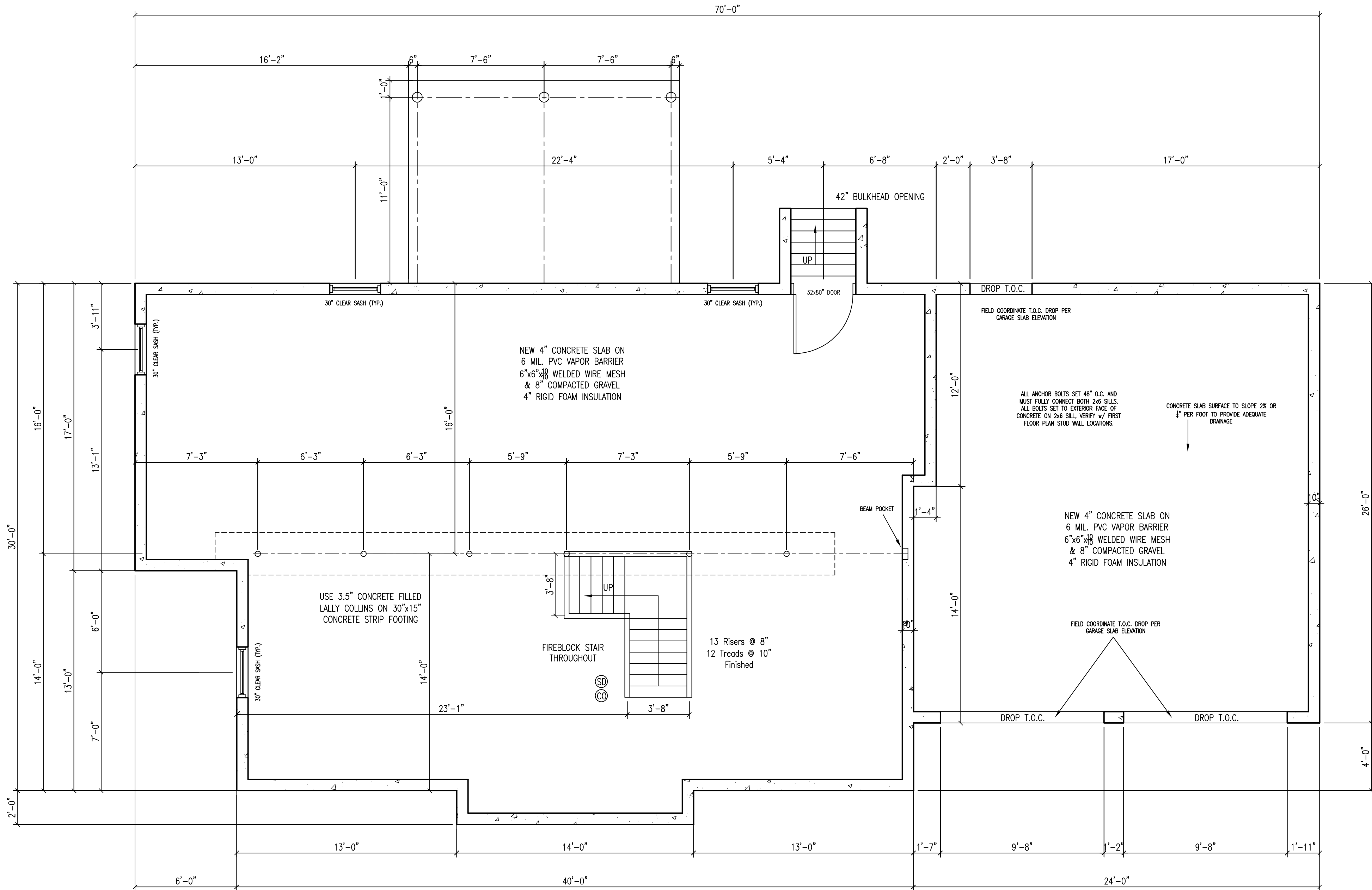


STRIP FOOTING DETAIL
NOT TO SCALE



FOOTING DETAIL
NOT TO SCALE

FOUNDATION PLAN



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NEW HOME

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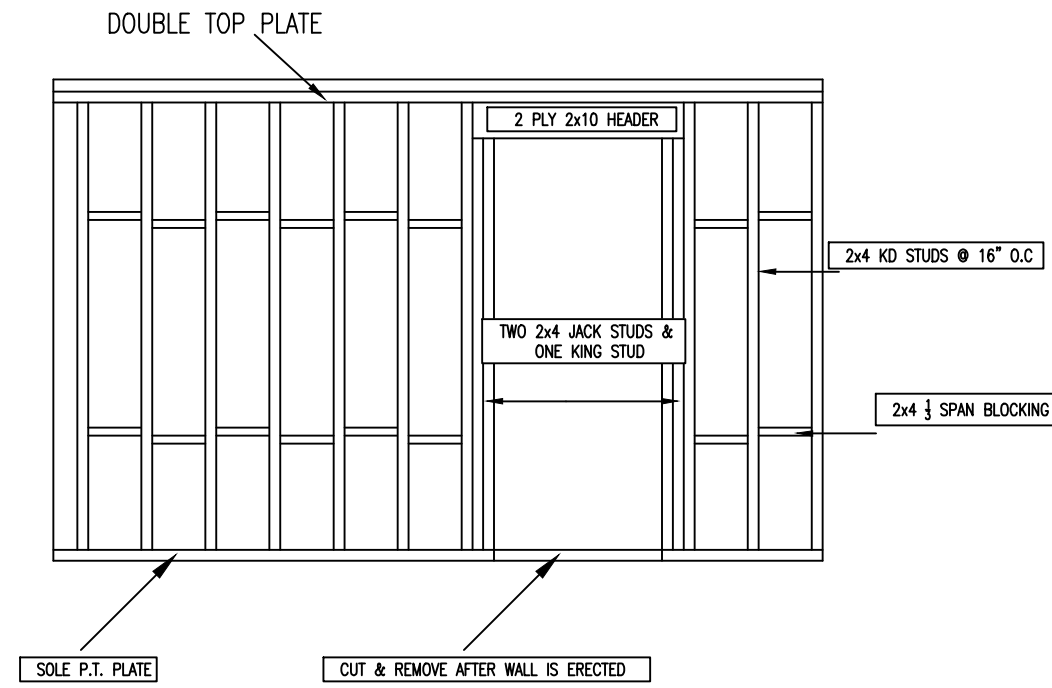
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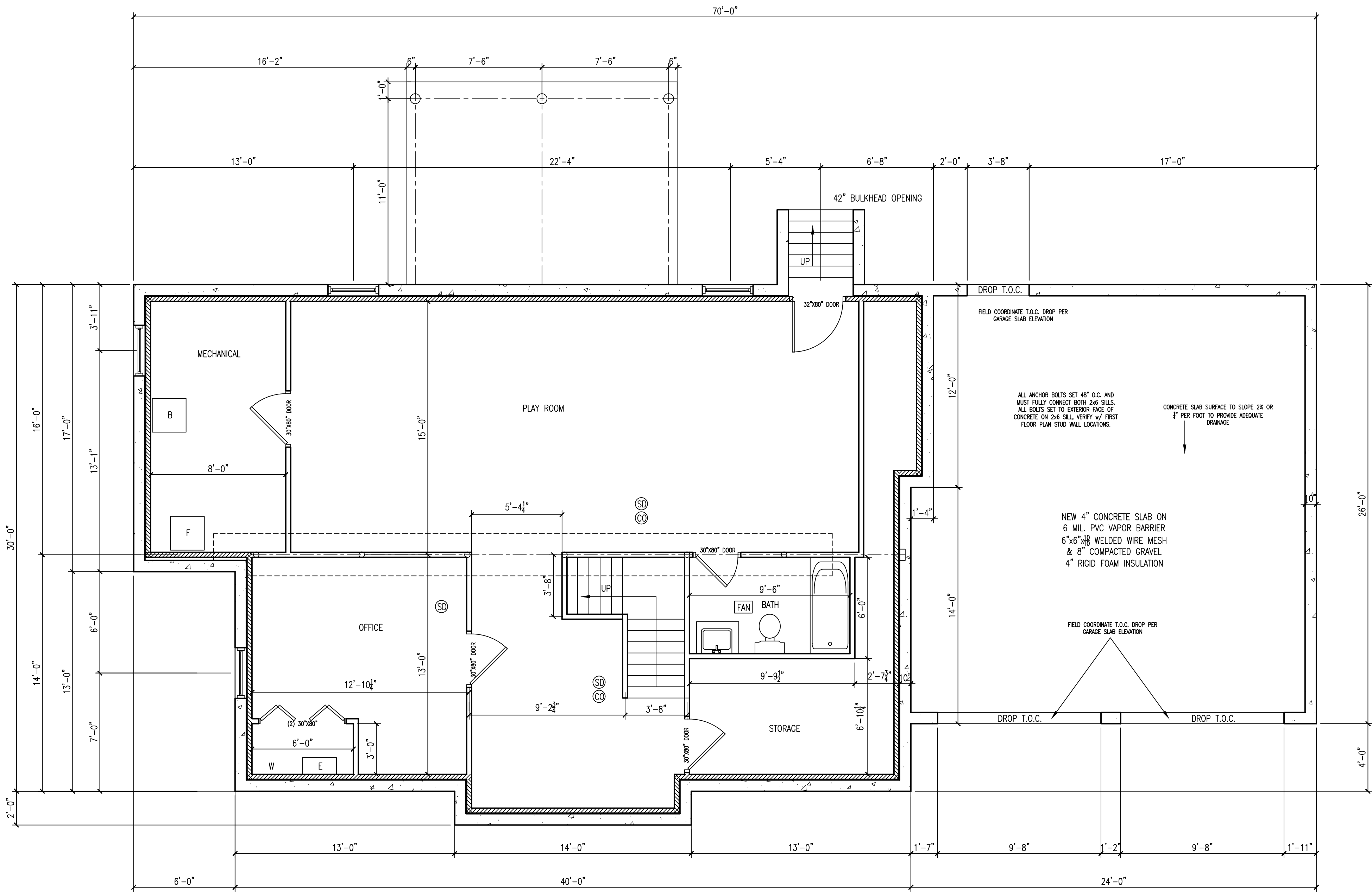
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TYPICAL WALL
FRAMING DETAIL
NOT TO SCALE



LEGEND	
	2x4 INTERIOR WALL
	2x4 WALL w/ R-15 CLOSED CELL INSULATION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

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FINISHED BASEMENT PLAN

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BASEMENT PLAN

FOR CONSTRUCTION		
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Project

NEW HOME

Date

08/11/2022

Scale

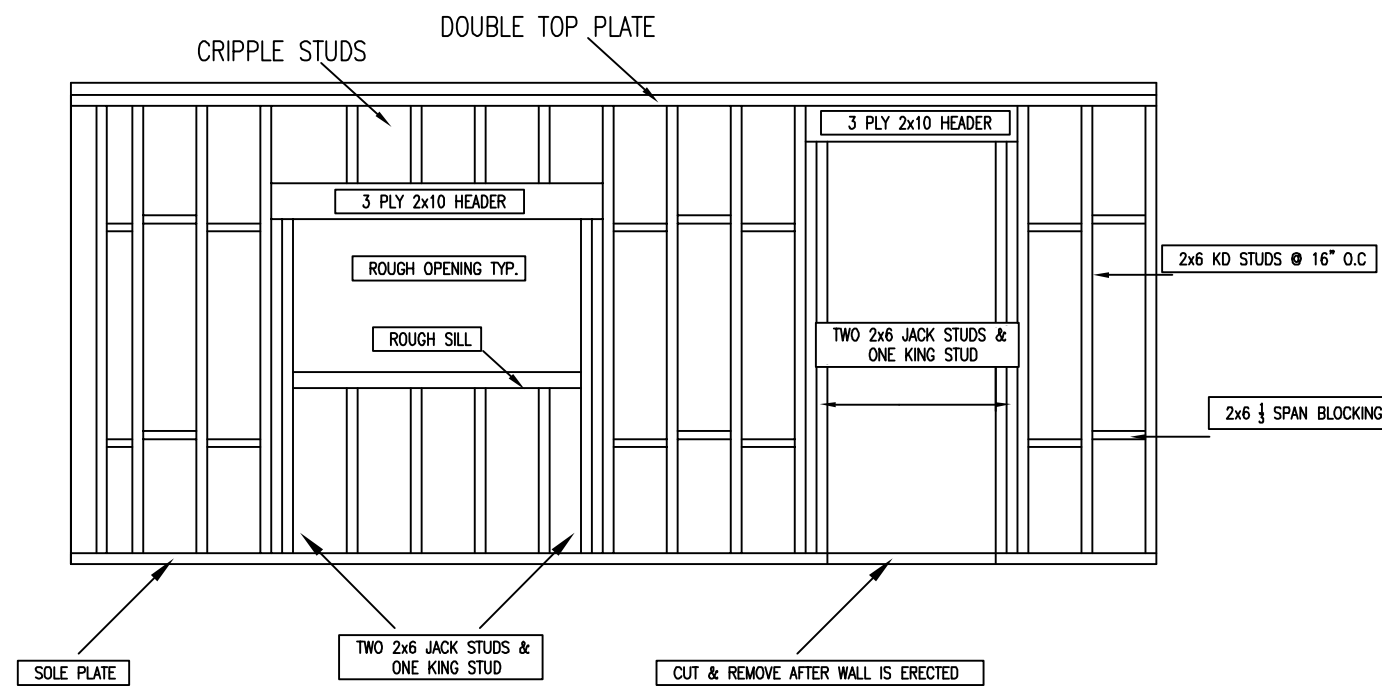
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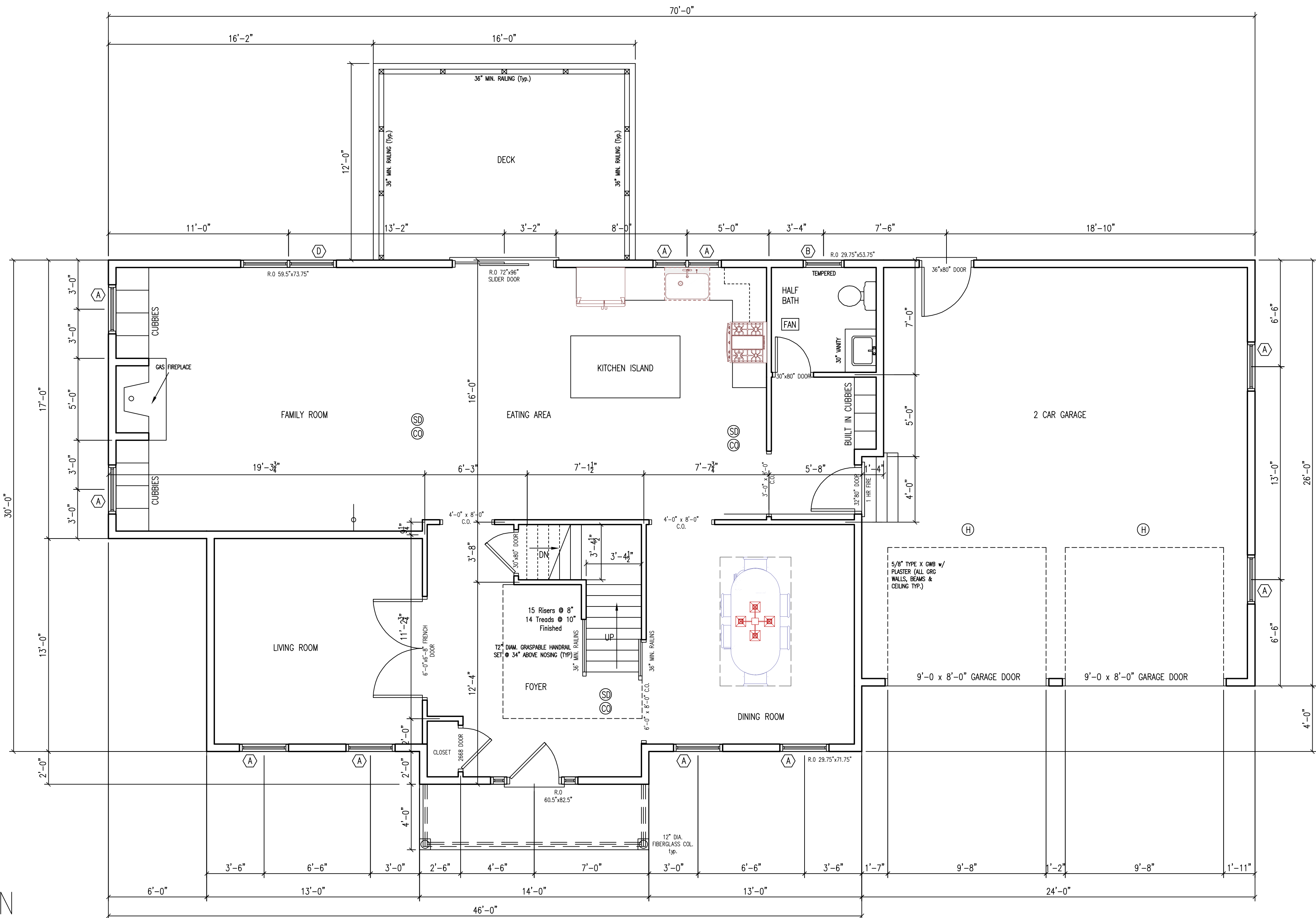
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TYPICAL WALL
FRAMING DETAIL
NOT TO SCALE



INSULATION NOTES:

- USE 4" RIGID INSULATION UNDER FOUNDATION SLAB
- USE R-21 ON 2x6 EXTERIOR WALLS
- USE R-38 ON FLOORS
- USE R-49 ON 2x12 S.P.F CEILING
- USE R-38 ON 2x10 ROOF

NOTES:

- GENERAL CONTRACTOR TO MAKE SURE THAT DOORS AND WINDOWS ARE ENERGY STAR RATED AND ARE PROPERLY ZONED.
- GENERAL CONTRACTOR TO MAKE ANY NECESSARY FIELD CHANGES IN ORDER TO FIT DOORS AND WINDOWS.

MARTIN DESIGNS SHALL BE NOTIFIED IF R.O. CHANGES.

- Ⓢ SMOKE & CARBON MONOXIDE DETECTOR
- Ⓢ HEAT DETECTOR

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1ST FLOOR PLAN

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NEW HOME

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Sheet

A-2

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- 10 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITH THE PROPOSED SCOPE OF WORK.
- 11 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION.
- 12 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING, PAYING, AND SCHEDULING INSPECTIONS AND PULLING PERMITS.
- 13 ALL PENETRATIONS MUST BE SEALED TIGHT WITH UL-LISTED FIRESTOPPING.
- 14 ALL DATA OUTLETS MUST BE ON A DEDICATED, ISOLATED CIRCUIT.



PROJECT:	NEW HOME
DATE:	08/11/2022
SCALE:	1/4" = 1'-0"

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL STATE AND LOCAL BUILDING CODES AND REQUIREMENTS.
2. ALL NEW CONSTRUCTION SHALL COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE 9TH EDITION CMR.
3. THE GENERAL CONTRACTOR SHALL REVIEW AND NOTIFY MARTIN DESIGNS OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
4. THE GENERAL CONTRACTOR SHALL LEAVE THE PROJECT SITE CLEAR AT ALL TIMES AND REMOVE ALL DEBRIS.
5. THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, PATCHING, CHASING, AND REPAIRING REQUIRED TO PERFORM THE WORK.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WORK OF ALL TRADES.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.
8. DIMENSIONS ARE TO CENTER LINES, TO FACE OF FINISHED SURFACE, OR EXISTING BUILDING GRID LINES.
9. THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITH THE PROPOSED SCOPE OF WORK.
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12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING, PAYING, AND SCHEDULING INSPECTIONS.
13. ALL PENETRATIONS SHALL BE SEALED TIGHT WITH UL-LISTED FIRESTOPPING.
14. ALL DATA OUTLETS MUST BE ON A DEDICATED, ISOLATED CIRCUIT.



ALL NEW CONSTRUCTION SHALL COMPLY
WITH THE MASSACHUSETTS STATE
BUILDING CODE 9TH EDITION CMR.

	FOR CONSTRUCTION	8/11/22
No.	Revision/Issue	Date

MARTIN DESIGNS
BELLINGHAM, MA

GREENWOOD HOMES
FENIX PARTNERS GREENWOOD
STREET DEVELOPMENT, LLC
28 GREENWOOD ST
SHERBORN - MA - 01770

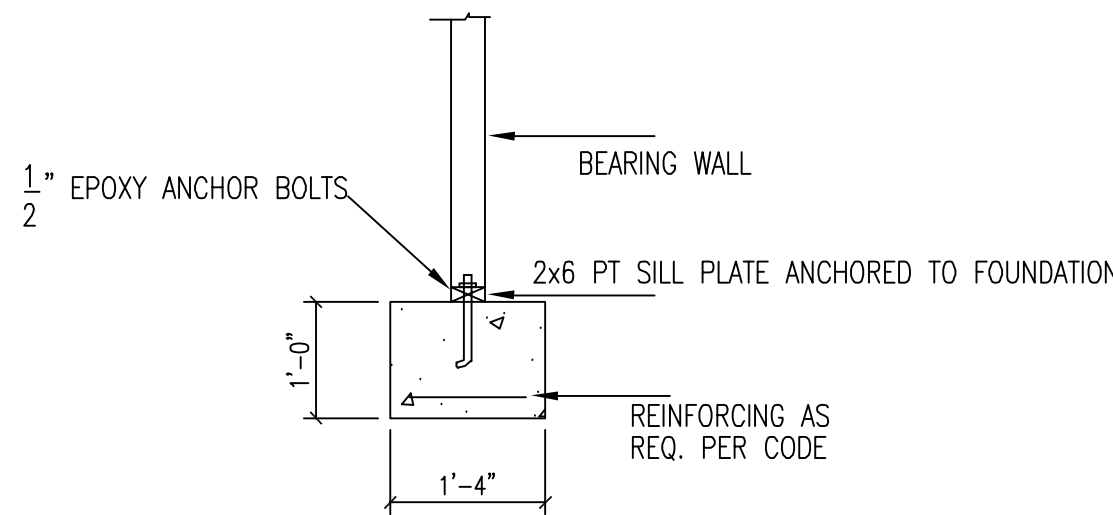
Project NEW HOME	Sheet A — 4
Date 08/11/2022	
Scale 1/4" = 1'-0"	

FRAMING NOTES:

1. ALL FRAMING WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS RESIDENTIAL BUILDING CODE AND THE IRC.
2. MARTIN DESIGNS MAKES NO CLAIMS TOWARDS EXISTING CONDITIONS.
3. ALL SILL PLATES, WALL BASE AT GARAGE, BASEMENT, DECK & PORCH FRAMING SHALL BE PRESSURE TREATED.
4. ALL FRAMING LUMBER, BEAMS, JOISTS, RAFTERS, HEADERS, PLATES AND SILL SHALL BE SPRUCE PINE FIR #2 OR BETTER.
5. ALL LVL BEAMS SHALL BE VERSALAM BY BOISE CASCADE 2.0.
6. ALL VERSALAM COLUMNS SHALL BE VERSA-LAM 1.8 BY BOISE CASCADE.
7. 4 PLY LVL BEAMS SHALL BE SCREWED TOGETHER.
8. ALL JOIST AND BEAM HANGERS SHALL BE SIMPSON.
9. ALL WALL SHEATHING SHALL BE 1/2" CDX PLYWOOD.
10. PLYWOOD SUBFLOORS SHALL BE TONGUE AND GROOVE, 3/4" THICK, A/C.
11. EXTERIOR HEADERS SHALL BE 3 PLY 2x8s SPF #2 MINIMUM. INTERIOR HEADERS SHALL BE 2 PLY 2x8s SPF #2 MINIMUM.
12. HEADERS AND BEAMS SHALL BE SUPPORTED BY TWO JACK STUD AND ONE KING STUD.
13. ALL EXTERIOR WALLS AND INTERIOR LOAD BEARING WALLS SHALL BE 2x6 @ 16" O.C. WITH 2 ROWS OF HORIZONTAL BLOCKING AT 1/3" POINTS

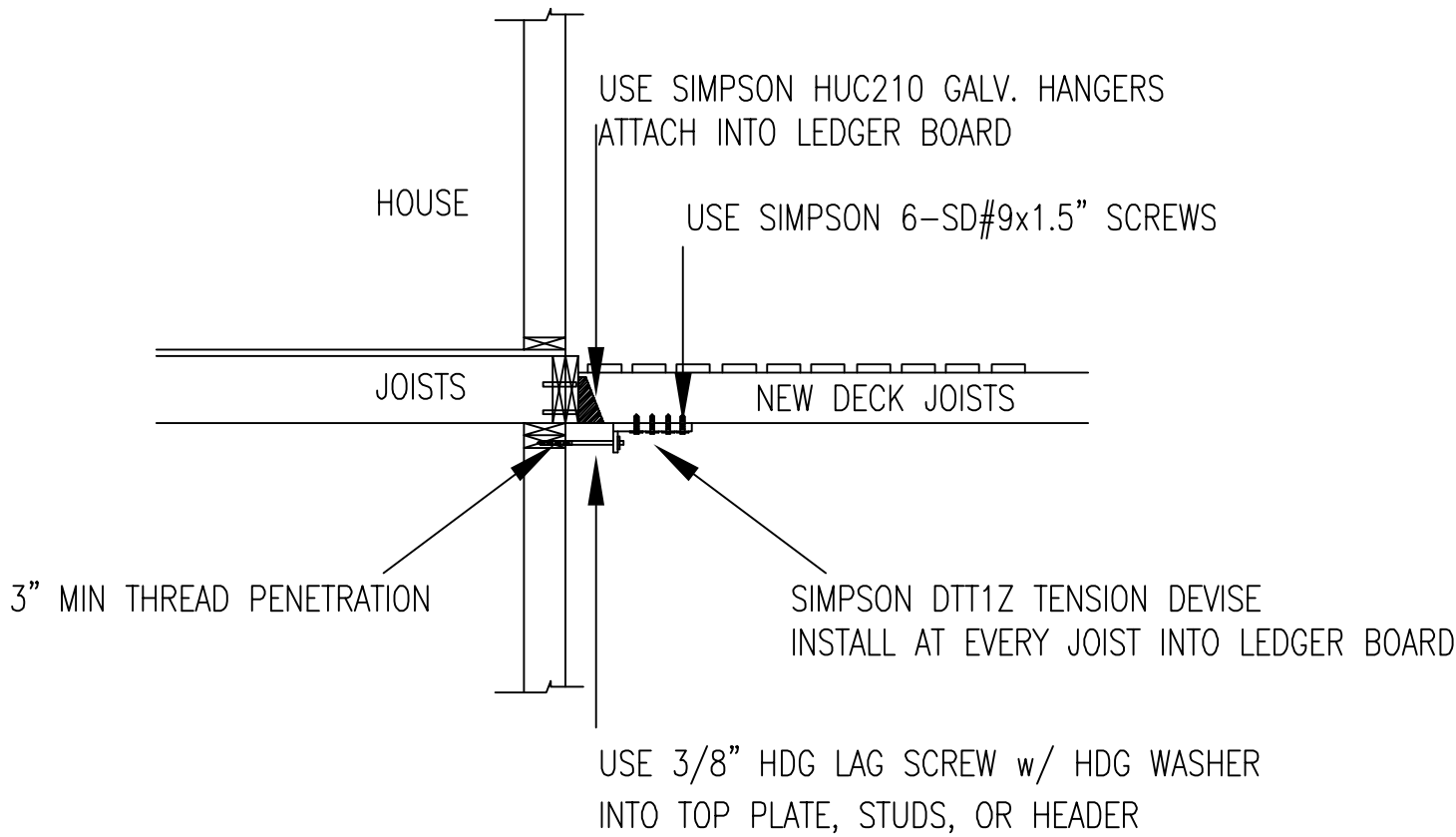
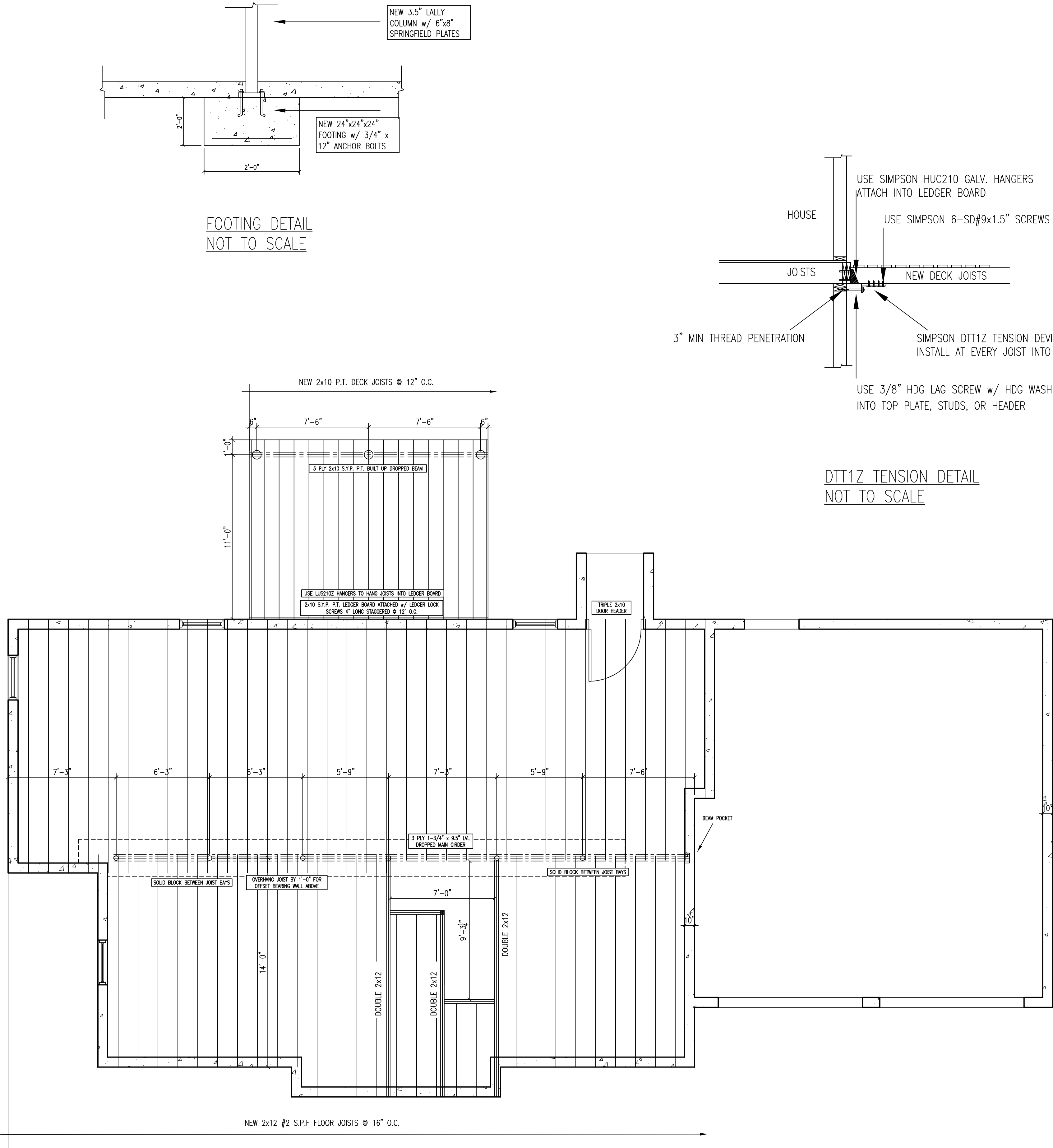
ROOF FRAMING NOTES:

1. 30 YEAR ASPHALT SHINGLES ON #30 BUILDING PAPER AT ALL NEW ROOF, BLEND TO EXISTING.
2. ALL ROOF SHEATHING SHALL BE 3/8" TONGUE AND GROOVE CDX PLYWOOD.
3. 3'-0" WIDE ICE & WATER SHIELD AT ALL ROOF/WALL JUNCTIONS.
4. GENERAL CONTRACTOR TO PROVIDE FLASHING PER MANUFACTURER'S INSTALLATION REQUIREMENTS AT ALL ROOF/WALL JUNCTIONS.
5. CONTINUOUS ROOF VENT TYPICAL.
6. ALUMINUM DRIP EDGE.
7. ALUMINUM GUTTERS & DOWNSPOUTS.
8. INSTALL ROOF VENTILATION IN ACCORDANCE WITH 780 CMR R806.1
9. 1x8 FASCIA & SOFFIT WITH 2" CONTINUOUS VENT.
10. USE SIMPSON HURRICANE CLIPS ON EVERY RAFTER AS REQUIRED BY MASSACHUSETTS STATE BUILDING CODE.
11. GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.



STRIP FOOTING DETAIL
NOT TO SCALE

1ST FLOOR FRAMING PLAN



DTT1Z TENSION DETAIL
NOT TO SCALE

General Notes

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ALL NEW CONSTRUCTION SHALL COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE 9TH EDITION CMR.

FRAMING PLAN

No.	FOR CONSTRUCTION	8/11/22
	Revision/Issue	Date

Firm Name and Address

MARTIN DESIGNS
BELLINGHAM, MA

Project Name and Address

GREENWOOD HOMES
FENIX PARTNERS GREENWOOD
STREET DEVELOPMENT, LLC
28 GREENWOOD ST
SHERBORN - MA - 01770

Project

NEW HOME

Date

08/11/2022

Scale

1/4" = 1'-0"

Sheet

A-5

1. ALL FRAMING WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS RESIDENTIAL BUILDING CODE AND THE IRC.
2. MARTIN DESIGNS MAKES NO CLAIMS TO GARAGES EXISTING CONDITIONS.
3. ALL SILL PLATES, WALL BASE AT TOWER, BASEMENT, DECK & PORCH FRAMING SHALL BE PRESSURE TREATED.
4. ALL FRAMING LUMBER, BEAMS, JOISTS, RAFTERS, HEADERS, PLATES AND SILL SHALL BE SPRUCE PINE FIR #2 OR BETTER.
5. ALL LVL BEAMS SHALL BE VERSALAM BY BOISE CASCADE 2.0.
6. ALL VERSALAM COLUMNS SHALL BE VERSA-LAM 1.8 BY BOISE CASCADE.
7. 4 PLY LVL BEAMS SHALL BE SCREWED TOGETHER.
8. ALL JOIST AND BEAM HANGERS SHALL BE SIMPSON.
9. ALL WALL SHEATHING SHALL BE $\frac{1}{2}$ " CDX PLYWOOD.
10. PLYWOOD SUBFLOORS SHALL BE TONGUE AND GROOVE, $\frac{3}{4}$ " THICK, A/C.
11. EXTERIOR HEADERS SHALL BE 3 PLY 2x8s SPF #2 MINIMUM. INTERIOR HEADERS SHALL BE 2 PLY 2x8s SPF #2 MINIMUM.
12. HEADERS AND BEAMS SHALL BE SUPPORTED BY TWO JACK STUD AND ONE KING STUD.
13. ALL EXTERIOR WALLS AND INTERIOR LOAD BEARING WALLS SHALL BE 2x6 @ 16" O.C. WITH 2 ROWS OF HORIZONTAL BLOCKING AT $\frac{1}{4}$ " POINTS

1. 30 YEAR ASPHALT SHINGLES ON #30 BUILDING PAPER AT ALL NEW ROOF, BLEND TO EXISTING.
2. ALL ROOF SHEATHING SHALL BE $\frac{5}{8}$ " TONGUE AND GROOVE CDX PLYWOOD.
3. 3'-0" WIDE ICE & WATER SHIELD AT ALL ROOF/WALL JUNCTIONS.
4. GENERAL CONTRACTOR TO PROVIDE FLASHING PER MANUFACTURER'S INSTALLATION REQUIREMENTS AT ALL ROOF/WALL JUNCTIONS.
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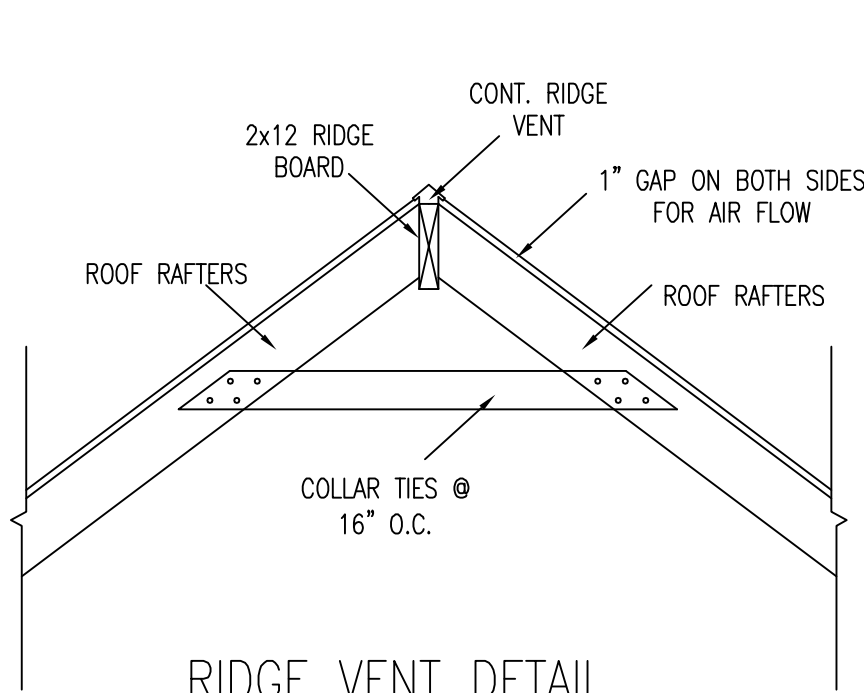
ALL NEW CONSTRUCTION SHALL COMPLY
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	FOR CONSTRUCTION	8/11/20
No.	Revision/Issue	Date

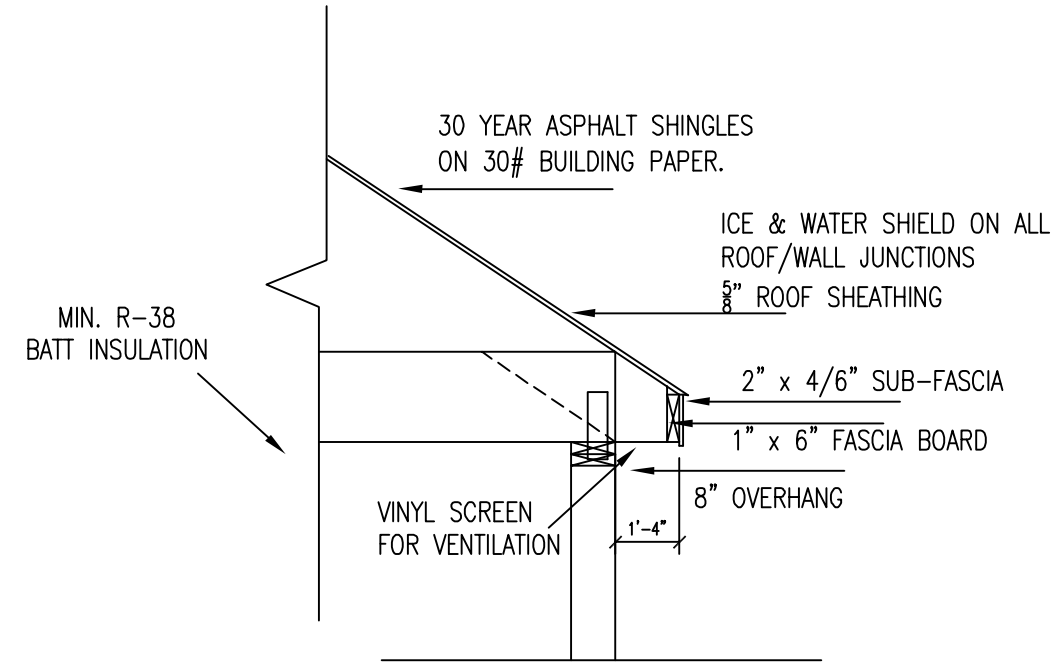
MARTIN DESIGNS
BELLINGHAM, MA

GREENWOOD HOMES
FENIX PARTNERS GREENWOOD
STREET DEVELOPMENT, LLC
28 GREENWOOD ST
SHERBORN - MA - 01770

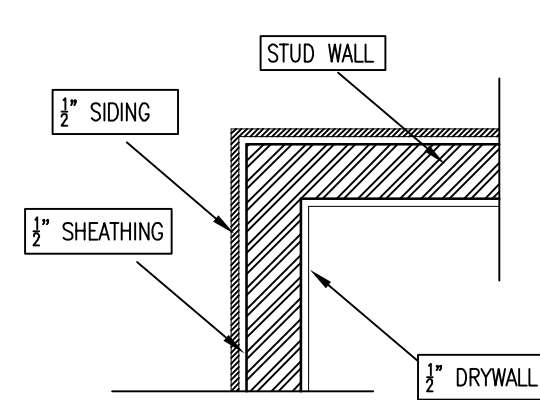
Project NEW HOME	Sheet A — 6
Date 08/11/2022	
Scale 1/4" = 1'-0"	



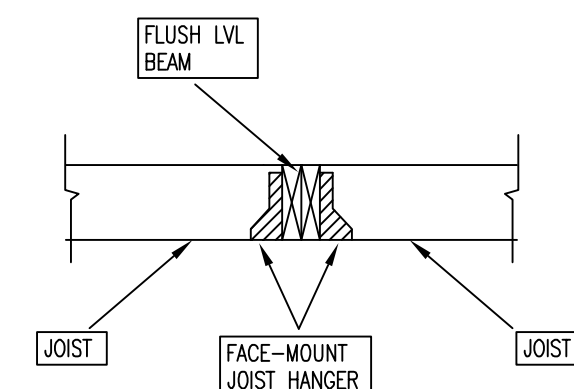
RIDGE VENT DETAIL
NOT TO SCALE



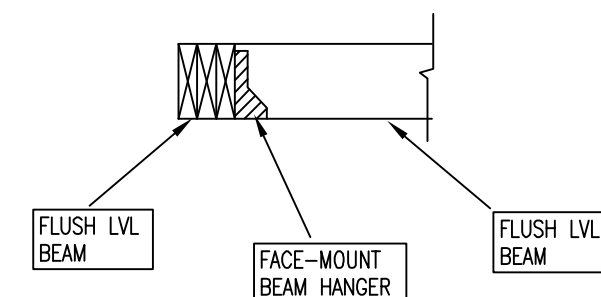
SOFFIT DETAIL
NOT TO SCALE



FINISHED WALL
COMPONENTS
NOT TO SCALE



JOIST TO BEAM
CONNECTION
NOT TO SCALE



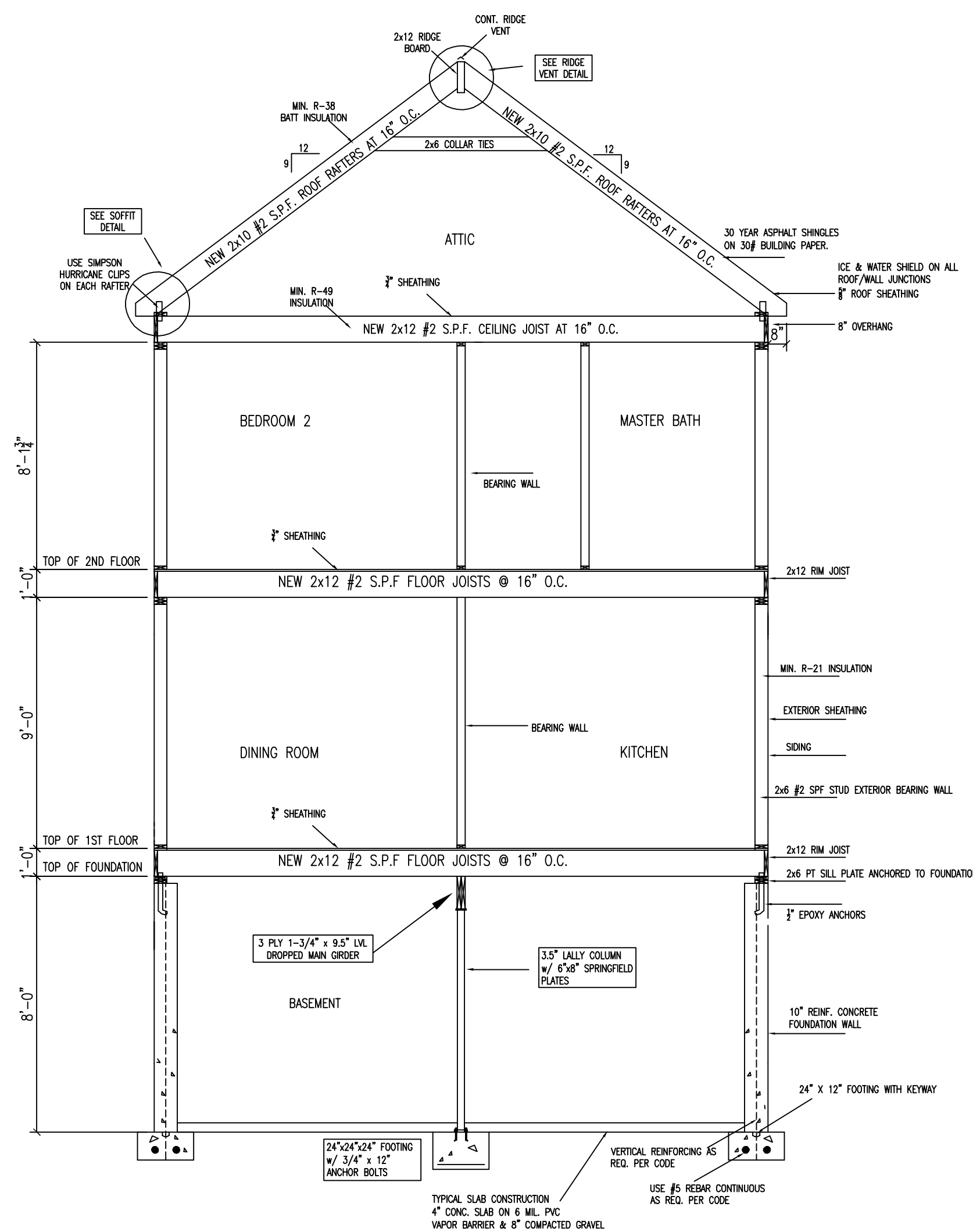
BEAM TO BEAM
CONNECTION
NOT TO SCALE

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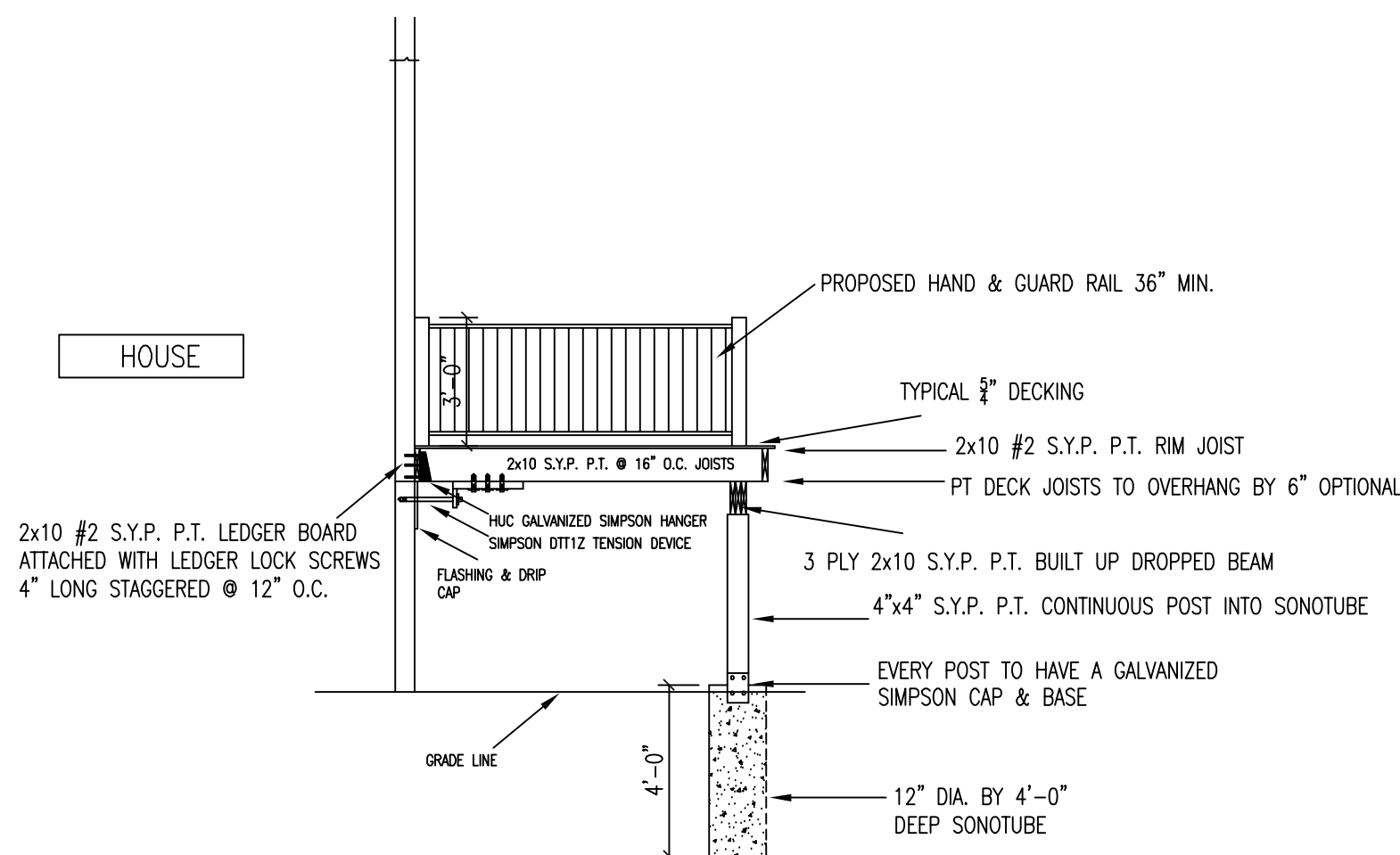
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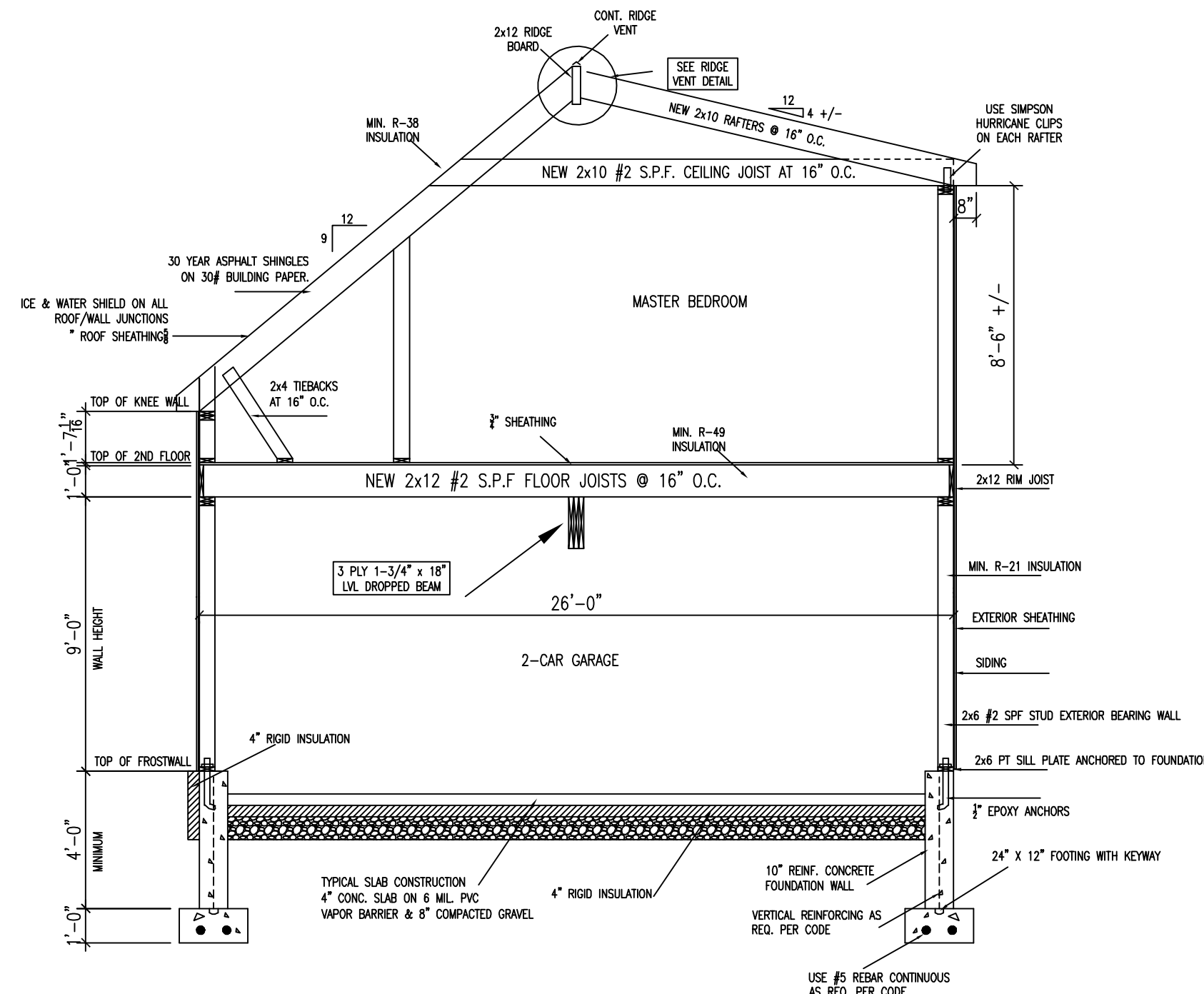
MAIN HOUSE SECTION DETAIL

$\frac{1}{4}'' = 1'-0''$



DECK DETAIL

$\frac{1}{4}'' = 1'-0''$



GARAGE SECTION DETAIL

$\frac{1}{4}'' = 1'-0''$

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ALL NEW CONSTRUCTION SHALL COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE 9TH EDITION CMR.

DETAILS/SECTIONS

No.	FOR CONSTRUCTION	8/11/22
No.	Revision/Issue	Date

Firm Name and Address

MARTIN DESIGNS
BELLINGHAM, MA

Project Name and Address

GREENWOOD HOMES
FENIX PARTNERS GREENWOOD
STREET DEVELOPMENT, LLC
28 GREENWOOD ST
SHERBORN - MA - 01770

Project	NEW HOME	Sheet
Date	08/11/2022	S-1
Scale	1/4" = 1'-0"	



General Notes

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ALL NEW CONSTRUCTION SHALL COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODE 9TH EDITION CMR.

THESE 3D VIEWS ARE FOR REPRESENTATIONAL PURPOSES ONLY. IT IS INTENDED TO BE USED AN AID TO HELP VISUALIZE THE PROJECT ONCE FULLY COMPLETED. BUILDER/FRAMER TO REFER TO FLOOR, FRAMING & DETAIL PLANS FOR CONSTRUCTION.

3D VIEWS

	FOR CONSTRUCTION	8/11/22
No.	Revision/Issue	Date

Firm Name and Address

MARTIN DESIGNS
BELLINGHAM, MA

Project Name and Address

GREENWOOD HOMES
FENIX PARTNERS GREENWOOD
STREET DEVELOPMENT, LLC
28 GREENWOOD ST
SHERBORN - MA - 01770

Project	NEW HOME	Sheet
Date	08/11/2022	3D
Scale	N/A	